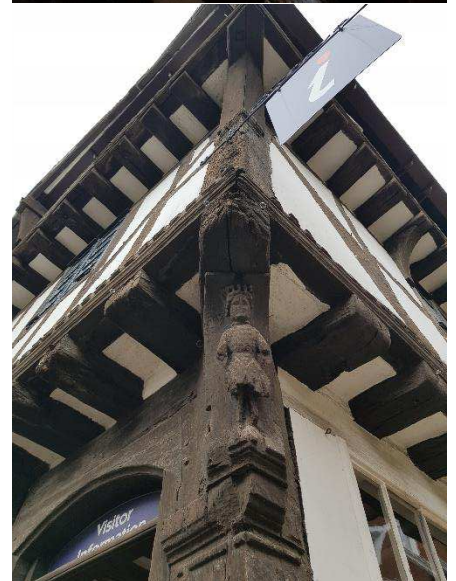
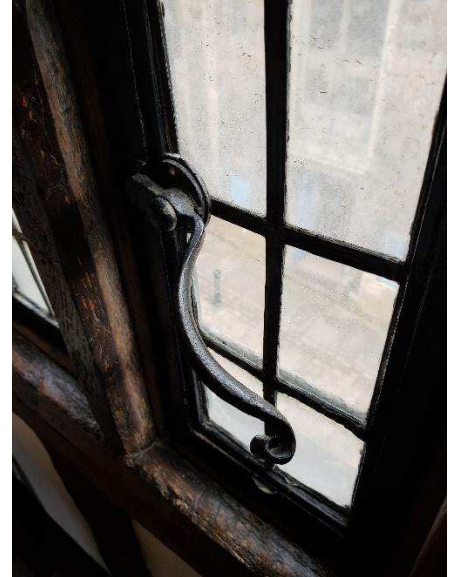
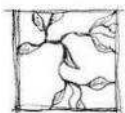


Leigh-Pemberton House,
8-9 Castle Hill & 1 Bailgate,
Lincoln

*Assessment of Significance &
Heritage Impact Assessment*

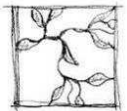


*Completed for Leigh Pemberton
House (TSP Investments) Ltd*



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March 2024



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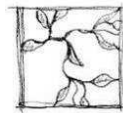


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1.0 Introduction

1.1 Objectives

The aim of this *Assessment of Significance* and *Heritage Impact Assessment* is to provide an independent study of the property known today as Leigh-Pemberton House on the northwest corner of the junction between Bailgate and Castle Hill in uphill Lincoln. The property traditionally comprises 8-9 Castle Hill and 1 Bailgate.

The report will establish, as far as possible with available resources, the overall historical development of the site. This is followed by an assessment of the significance of the property as well as an assessment of the potential impacts of the proposed changes within the site. It will also examine the overall setting of the study area within the historic Cathedral core of uphill Lincoln including the numerous and highly significant heritage assets in the vicinity.

The report was commissioned by John Roberts Architects on behalf of their client and applicant, Leigh Pemberton House (TSP Investments) Ltd. It aims to provide supporting information suitable for discussions with City of Lincoln Council and Historic England, and it will form a supporting document for listed building consent and planning applications.

This report has been carried out as per the requirements of the *National Planning Policy Framework (Revised December 2023)* and it assesses the site, and its wider setting including the listed building itself, the conservation area, and neighbouring heritage assets.

1.2 Study Area

Leigh-Pemberton House is one of the most prominent buildings in uphill Lincoln, dominating the junction of Bailgate, Castle Hill, and Exchequergate with the equally prominent Church of St Mary Magdalene opposite to the east and the Castle, Judges' Lodgings and 6-7 Castle Hill to the west.

It comprises a timber framed and jettied 16th century (of possible late 15th century origin) former merchant's house that is three stories in height (plus basement level) and its key elevations front Castle Hill on the south side and Bailgate on the east side. 2 Bailgate forms the northern boundary abutting the building and the townhouses of 6-7 Castle Hill form the western boundary with a narrow passage between.

The south elevation is jettied at first and second floor levels and there are three gables rising above the second floor with plain clay tiles roofs. The lower wall of the ground floor is stone and there are steps and doors to the Visitor Information Centre (at the east end) and to the upper levels (at the west end). External basement access has been infilled and false doors have been inserted to the right of centre and there is a large bronze information plaque in the location of a former doorway.

A large multi-pane timber bow window is on the west side of the ground floor. And there are multi-pane windows to the east side infilling the timber above the stone wall. Windows above are all metal-framed and crown glass casements.



Figure 1 Panoramic view looking in a north-westerly direction showing Leigh-Pemberton House forming the northwest corner of the junction between Castle Hill (to the left) and Bailgate (to the right).

The east elevation is also jettied at first and second floor levels with a stone ground floor lower wall (including some later brick infill and vents alterations) and multi-pane timber windows infilled the space above with a door opening to the right of centre. Metal-framed casement windows are located at first

and second floor and there is a small later window opening at the north end of the first floor. A square section gutter runs along the eaves of the east elevation.

Leigh-Pemberton House is Grade II* listed on the National Heritage List for England (NHLE). The site is also located within the *Cathedral & City Centre: City of Lincoln Conservation Area No. 1* as recognised by the City of Lincoln Council.

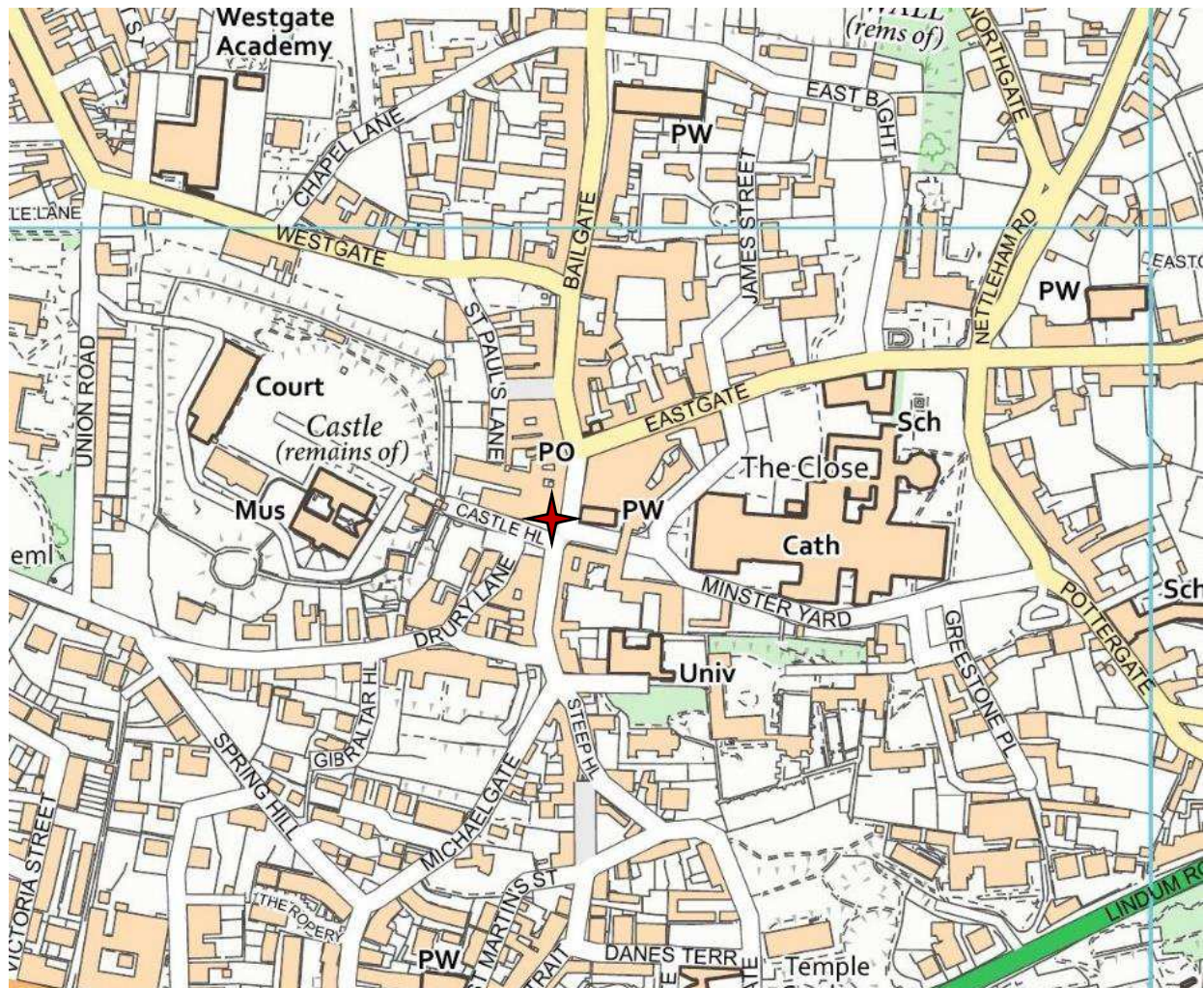


Figure 2 Location map with Leigh-Pemberton House marked in red.¹

Due to the historic nature of the study area location, there are numerous listed buildings and scheduled ancient monuments in the immediate vicinity (including within the study area) that might be affected by future proposals within the site. Those considered to be in the immediate vicinity or within key view lines to the study area included:

1. The Judges' Lodgings (Grade II* listed). West of the study area.
2. No. 2 Bailgate (Grade II). Adjoins the north side of the study area.
3. The White Hart Hotel (Grade II listed), located to the northeast of the study area.
4. The Church of St Mary Magdalene (Grade II), located immediately to the east of the site on the opposite side of Bailgate.
5. Exchequergate (Grade I), southeast of the study area.
6. 2 Exchequergate (Grade II*), southeast of the study area.
7. Cathedral Church of St Mary and Cloisters and Chapter House and Libraries (Grade I), east of the study area.
8. Lindum Roman Colonia (scheduled ancient monument), throughout the city centre in surrounding area.
9. Lincoln Castle (Grade I and scheduled ancient monument), to the west of the site.
10. 15 Bailgate (Grade II), north of the study area.
11. 14 Bailgate (Grade II), north of the study area.
12. 12A Bailgate (Grade II), north of the study area.
13. 9 & 10 Bailgate (Grade II), north of the study area.

14. 8 Bailgate (Grade II), north of the study area.
15. 6 & 7 Bailgate (Grade II), north of the study area.
16. 5 Bailgate (Grade II), north of the study area.
17. 4 Bailgate (Grade II), north of the study area.
18. 3 Bailgate (Grade II*), north of the study area.
19. Leigh-Pemberton House (Grade II*) – the study area.
20. 6 & 7 Castle Hill (Grade II*), bordering the west side of the study area.
21. K6 Telephone Kiosk (Grade II), southwest of the study area.
22. Castle Hill Club (Grade II), southwest of the site.
23. 3 Castle Hill (Grade II), southwest of the site.
24. 1 Castle Hill (Grade II*), south of the study area on the opposite side of Castle Hill.
25. 36 Steep Hill (Grade II), south of the study area.

The above numbered list corresponds with the map at Figure 3.

Leigh-Pemberton House is centred at approximately NGR SK 97638 71826.

Please see Figure 2 and Figure 3 for the site location and study area.

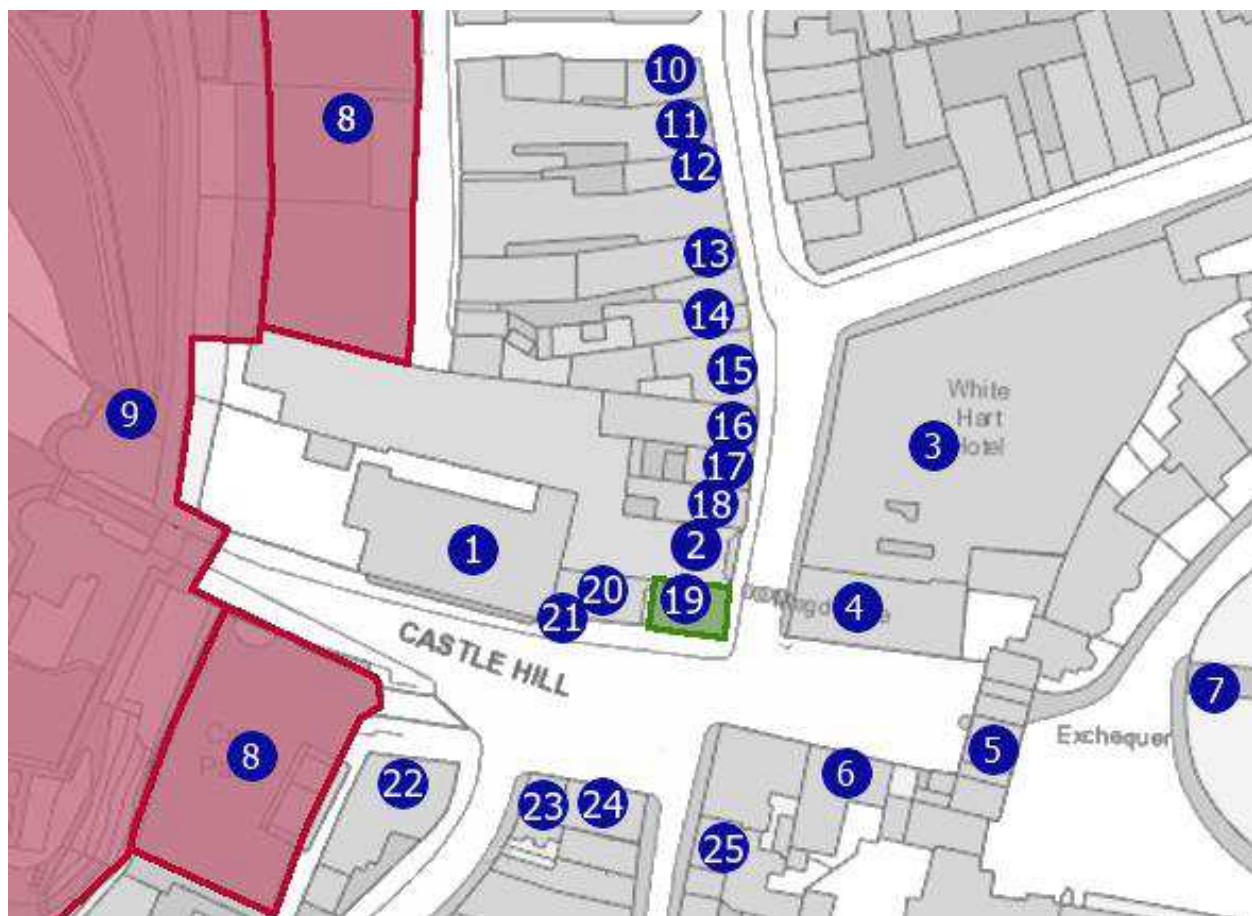


Figure 3 Plan showing heritage assets in the immediate vicinity of the study area that has been outlined and shaded green. Red shading represents scheduled ancient monuments, listed buildings are marked in blue. Please cross reference heritage assets with the numbered list at Section 1.2.

1.3 Acknowledgements

I would like to acknowledge the assistance of the following individuals and organisations during the completion of this report.

- Lincolnshire Archives
- Lincoln Central Library Local Studies
- Historic England
- NatWest Group Archives
- City of Lincoln Council
- Staff at the Lincoln Visitor Information Centre
- Lincoln Cathedral Archives
- Heritage Gateway
- Other online resources as required.
- John Roberts Architects
- Leigh Pemberton House (TSP Investments), applicant
- Prospect Archaeology

- Lambeth Palace Library – Church of England Archive

Drawings were provided by John Roberts Architects and modified where required for the purposes of this report. Photographs within this report are by Austin Heritage Consultants unless otherwise stated.

1.4 Discussion & Limitations

This report is based upon site inspections of the property carried out on 28th February and 27th March 2024, combined with archival and desk-based research.

The building was generally accessible internally and externally except for the attic spaces and the west side exterior passage that was viewed through a window. While the basement level and ground floor were inspected as part of the overall assessment of the building, they were not addressed in detail as there are no proposed works to these levels, which will remain in use by the visitor centre.

Due to the prominence of the building, documents specific to the building chiefly comprised historic photographs, paintings, and drawings. A set of drawings believed to be for 20th century alterations to the building for use as the National Provincial Bank were noted at Lincolnshire Archives during research. Unfortunately, the box of drawings (*Ref: WRIGHT PLANS/219*) were deemed unfit for production, and it was not possible to view them at this time. If restored and accessible in the future, they will likely make a valuable contribution to the understanding of the evolution of the building in the 20th century and the historical assessment should be updated to reflect this as needed.

It was also noted that the Castle Hill property numbering varied in the 19th century with the site also having been previously referred to as 8, 9, 8/9, 11 and 12 Castle Hill. The study area building is understood to have only become known as Leigh-Pemberton House (or Pemberton House) in 1979.

Consequently, best judgement has been used during analysis, given all available information at the time of writing. If further historical information becomes available in the future, this should be used to update the historical analysis and significance assessment within the report accordingly.

2.0 Understanding the Study Area – Historical Development

2.1 Bailgate & Castle Hill

Leigh-Pemberton House is located within the block bounded by Castle Hill and the southern end of Bailgate. Lincoln Castle is to the west of the study area and the Church of St Mary Magdalene is to the east.

'Bailgate' is a surviving medieval street that derives from the time of the defensible walled former Roman upper city becoming the outer bail of the castle boundaries in the early-mid 12th century.² Connected with Steep Hill, the Bailgate follows the approximate line of the principal north-south street through the legionary fortress and later upper city of the Roman Colonia. This road was part of Ermine Street, the major Roman Road that linked Lincoln with York and London.³

The Close wall, including the Exchequergate to the east of the study area was built between the late 13th and mid-14th centuries to protect the Cathedral clergy and property, dividing the Cathedral Close from the properties along Bailgate. The study area lies just outside the Close wall boundary.⁴

By the time of the Stukeley map of 1722 at Figure 4, development had occurred in the vicinity of the study area on the east side of the east gate of Lincoln Castle, reflecting the earlier development of Castle Hill adjacent to the castle. Lincoln Castle dates from 1068, with alterations in the 12th, 13th, 14th, and 19th centuries, followed by restoration work in the 20th century. The east gateway of the castle adjacent to the Judges' Lodgings was built in the 11th century and extended in the 14th century and is currently undergoing conservation and repair work.⁵

Castle Hill was heavily redeveloped in the early 19th century during the time the Judges' Lodgings was constructed. The area saw the demolition of buildings that originally projected into the now open Castle Hill square today and the change in composition of the north side of the street through the building of the landmark Judges' Lodgings (or House). A plan at Figure 5 shows a sketch layout plan from 1842 reputedly showing the 1809-10 layout of Castle Hill before the Judges' Lodgings was completed.

In the 20th century, further demolition occurred at Castle Hill with the loss of the County News Room and other buildings where the current carpark is located on the south side of Castle Hill and adjacent to the east castle gate.

Leigh-Pemberton House survived the early 19th century changes to Castle Hill and has itself undergone several periods of alteration and change in use from dwellings to use as a bank, and now a visitor centre with a flat above.

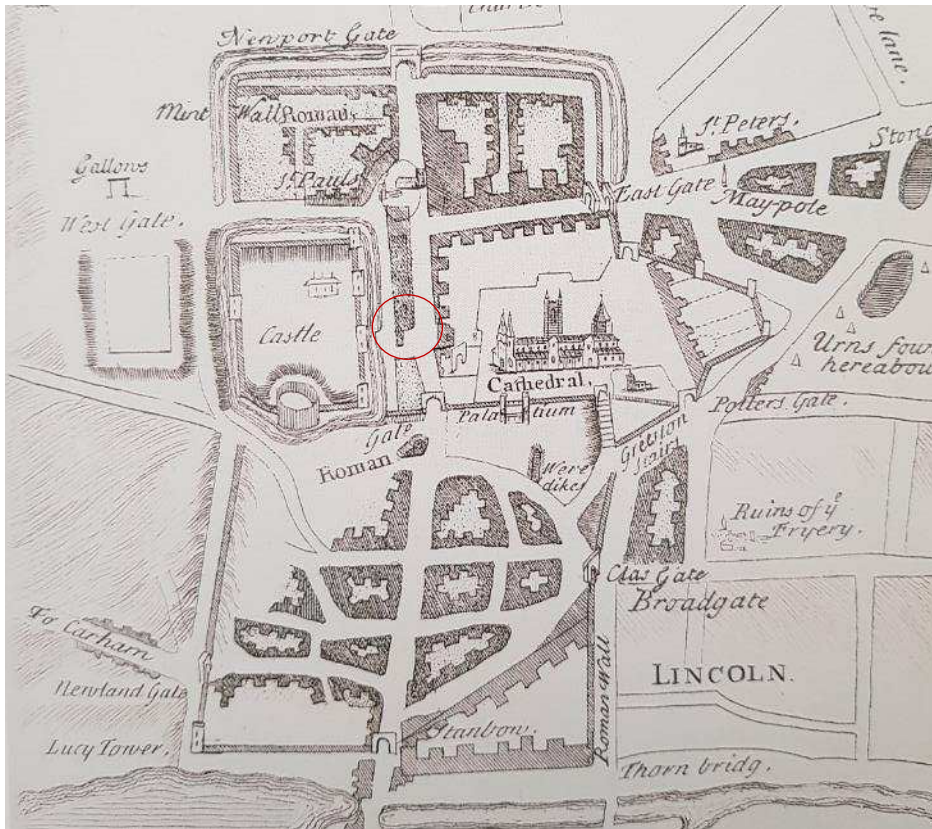


Figure 4 Extract from the Stukeley map of 1722 with the approximate study area location circled.⁶

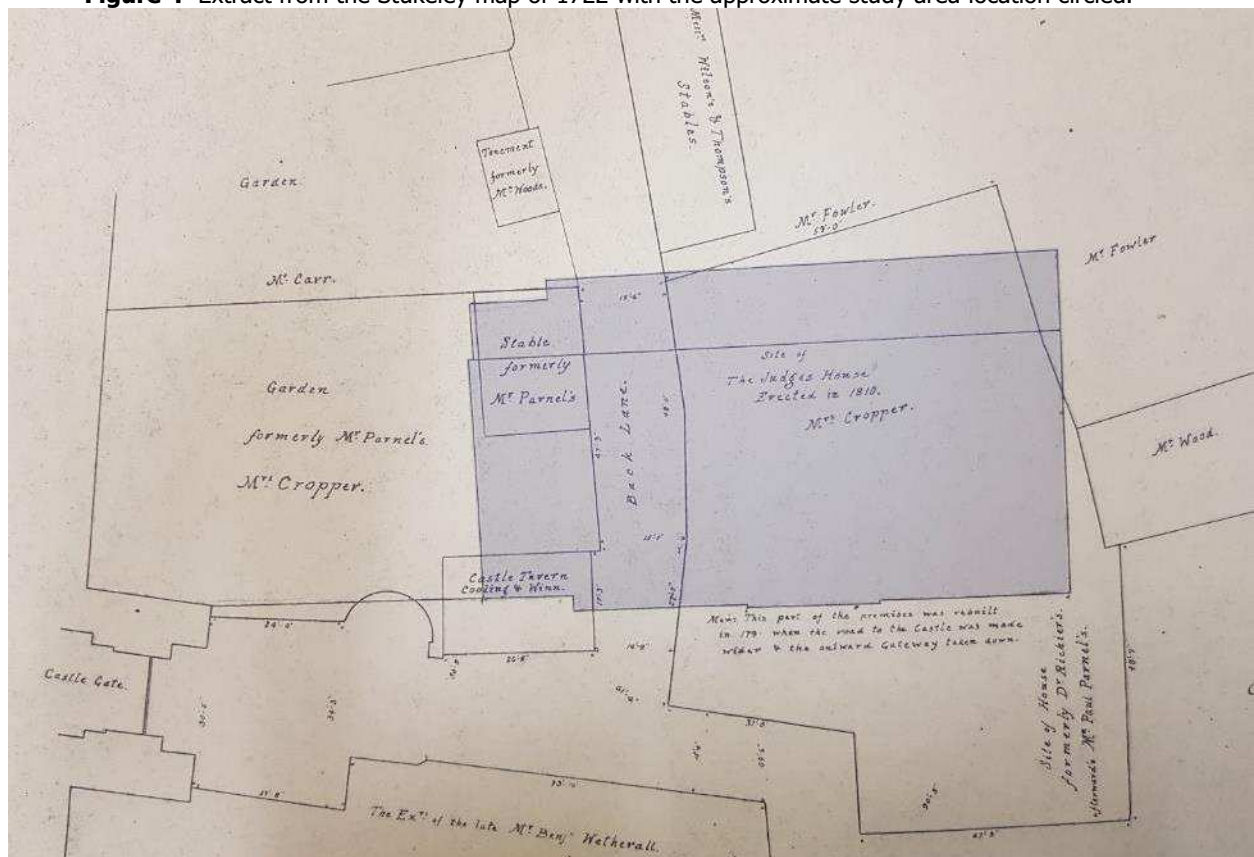


Figure 5 Extract from the 1842 copy of a plan by T J Willson understood to have been originally made/updated in 1809-10 by Mr William Hayward, Architect and showing the earlier layout of Castle Hill adjacent to the Castle.⁷ What is believed to be the original area of the nearby Judges' Lodgings has been highlighted in blue for clarity and the study area is off the map to the right where property of 'Mr Wood' is annotated.

2.2 Development of Leigh-Pemberton House

A detailed assessment of Leigh-Pemberton House was carried out by the Lincoln Civic Trust in 1996 as part of *'The Survey of Ancient Houses in Lincoln – VI: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate'*,⁸ and this document should be referred to for more detail.

The 1996 assessment suggested that there were grounds due to the location of boundary lines for believing that 5-8 Castle Hill and 1-2 Bailgate might have formed one unit in the early medieval period.⁹

The assessment also believed that the building was probably of late 15th century origin, though heavily rebuilt and restored.¹⁰ An unreferenced statement on the commemorative plaque on the building and in notes held by the NatWest Group Archive suggest that it dates from 1543, but no specific source for this date was provided. The 1996 survey identified three original doorways to the building including the one in use for the visitor centre today at the southeast corner, the now-blocked central doorway in the south elevation, and the currently blocked (but visible) doorway in the east elevation.¹¹

The survey from 1996 of the building also stated that although it has been thought possible from its external appearance that the property had been subdivided into three tenements originally, that the division into only two tenements within the compact site appears to have been by design, but with asymmetrical internal layout with presumably one of the tenements assigned two top-floor rooms.¹² The confinement of the earlier stairs and chimney stacks to the north side of the building (heavily altered and much lost today) suggested that the eastern tenement had a stair that encroached on the adjoining tenement to the west.¹³ The early 19th century drawing at Figure 9 shows a possible reconstruction of the original building.

The lands associated with the Judges' Lodgings, Leigh-Pemberton House and 2 Bailgate were owned by the Carter family by 1583.¹⁴ It was acquired by Christopher Carter from the Dickinson family, and it was known as *'Marshall's House'*, possibly after a Laurence Marshall who lived in the Bail during the mid-15th century.¹⁵ Carter bequeathed the property to his wife, Alice for life, then to his son, Richard Carter. It then passed to a related family by the name of Harris, and then to the Wood family who were active in the Castle and surrounding area in the 18th and 19th centuries.¹⁶

In 1668, a Samuel Luddington was identified at the property as a mercer (textile dealer) and by 1738, a butcher named William Shipley was at the site. In 1753 and 1767, Henry Bell, a grocer, was identified at the site.¹⁷

Leigh-Pemberton House is believed to have been substantially rebuilt in the mid-18th century.¹⁸ A c.1815 landscape painting reputedly showed that the lowest windows of the south elevation were of sash-type and that the front was fully rendered, possibly suggesting that these windows were part of the 18th century changes.¹⁹ This is supported by late 19th-early 20th century photographs (see Figure 13).

Interestingly, in 1795, prominent artist Joseph M.W. Turner made a tour of the Midlands, and he produced a drawing capturing the eastern end of the south elevation in a view looking northeast towards the Exchequergate and Cathedral from Castle Hill. An extract of the drawing has been included at Figure 6 and if it is accurate, then it shows quite a different appearance at the corner to what is noted today.

It shows a three storey jettied building and the easternmost gable end is visible in the drawing. It suggests that the second floor jetty projected further than what is visible today (but this might have simply been a case of artistic licence) and that there was a pantiled awning over the eastern doorway and steps in the south elevation.

A small casement window (depicted with at least the eastern side with leadlight glazing) was at first floor level and there was a further multi-pane casement window in the gable at second floor level above. The façade was rendered with the plaster showing signs of dilapidation. The gable was shown with scalloped carved timber eaves and a collar tie towards the top of the gable framework and the roof appeared to be plain clay tile.

There were substantial stone steps to the eastern doorway and what appears to have been brick or stone stepped buttressing at the corner of the lowest part of the ground floor wall.

A lease plan dating from presumably the early 19th century (but post-construction of the Judges' Lodgings in 1809-1811) noted at Figure 7 for 6-7 Castle Hill shows that the adjacent Leigh-Pemberton House premises belonged to Isaac Wood Esquire and were in the occupation of Ralph Taylor and Samuel Stephenson. Privies were depicted at the rear of 6-7 Castle Hill, and the passageway on the west side

A 'Plan of Lincoln Castle with Premises Adjoining' by T J Willson in 1832 (see Figure 8) showed Leigh-Pemberton house annotated with the letter 'A'. Cross referencing to the list on the plan, it was identified as being owned by the Trustees of Isaac Wood Esquire, a 'lunatic' and in the same ownership as the adjacent 6-7 Castle Hill at this time.

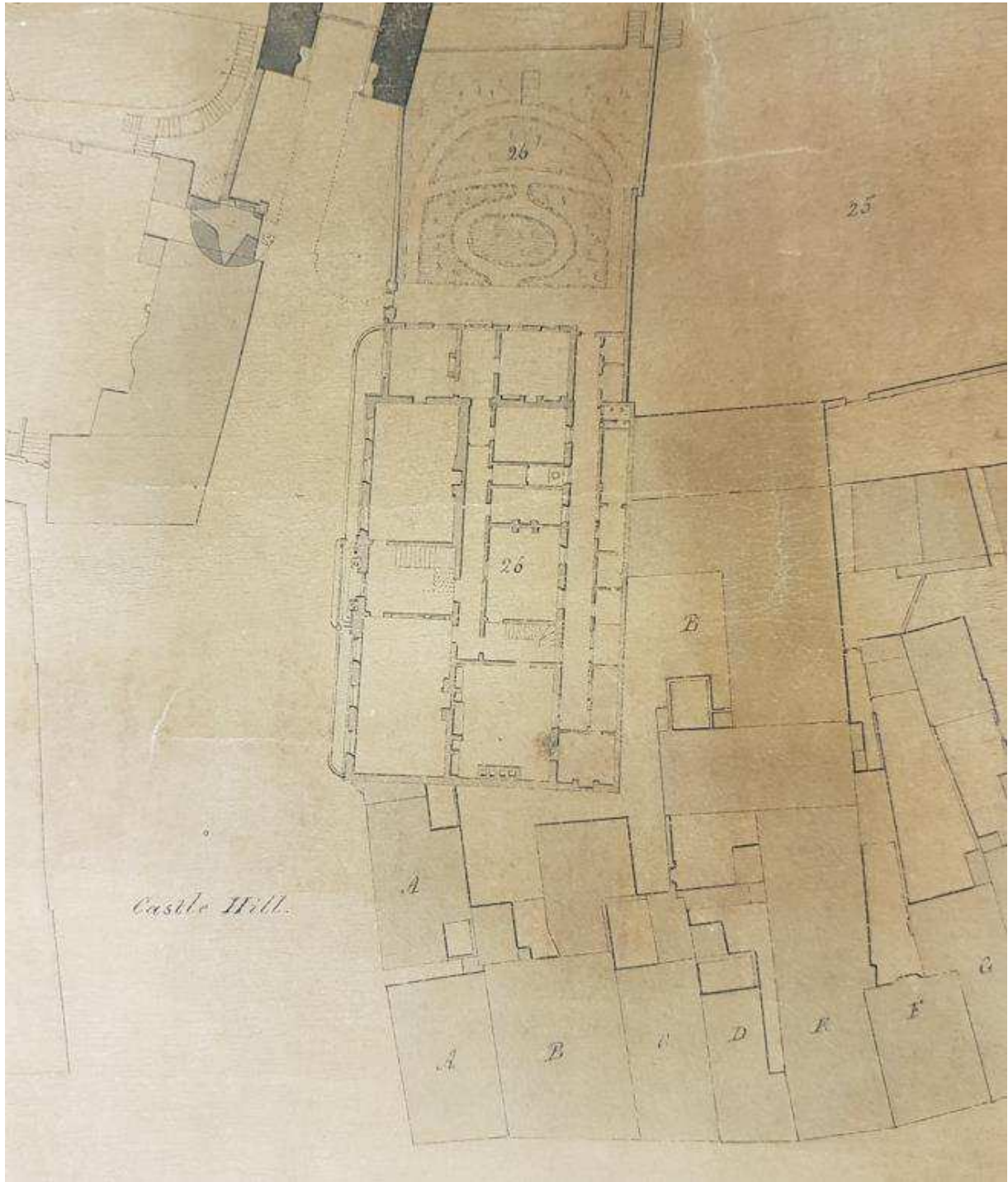


Figure 8 Extract from the 1832 'A Plan of Lincoln Castle with the Premises Adjoining' by T J Willson. Leigh-Pemberton House was annotated as 'A' on the corner on this plan.²²

A note from the 1996 survey suggested that the building was also known as 'Stephenson's House' in the 19th century and that an upper room window of four lights next to the corner had a carved head board that was taken away in 1831 and given to a Mr Hutton.²³ No further detail was found about the carved board, but did it possibly relate to the current first floor southern window opening that was shown as infilled in the late 19th and early 20th centuries that would have been wide enough to contain four 'lights'? The naming of the building is consistent with the *Census* of 1841 and 1851 that record the Stephenson family occupying the site.

The 1841 *Census* suggests a difference to current street numbering for Castle Hill and that 8-9 Castle Hill was at this time recognised as 11 Castle Hill and 1 Bail Gate. 11 Castle Hill (the west tenement) was occupied by family of cabinet makers Hannah Taylor, William Taylor and Ralph Taylor, Hannah Taylor, apprentice cabinet maker Robert Taylor, and apprentice druggist John Taylor. The east tenement at 1 Bail Gate was occupied by brazier (brass object maker/repairer) Ann Stephenson, Emma Stephenson, Benjamin Stephenson (also a brazier) and Ann Barrett.

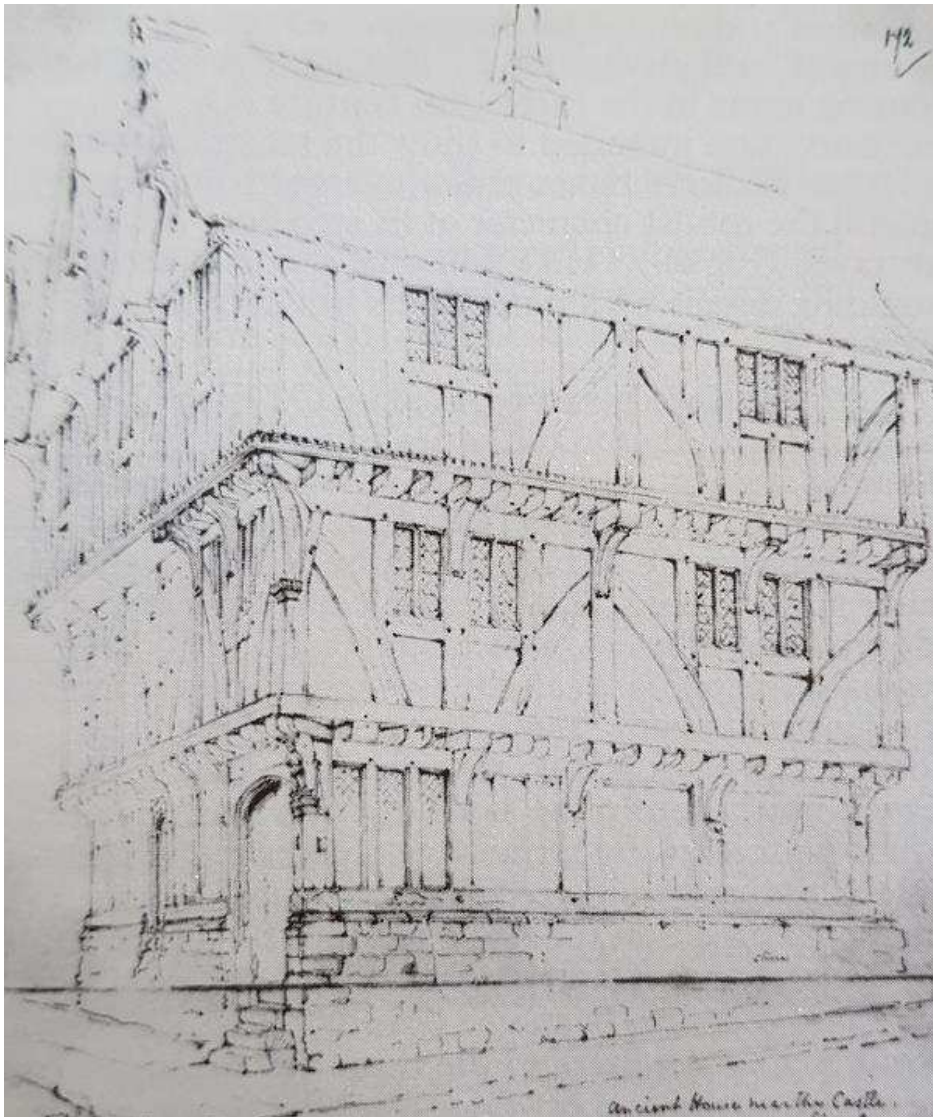


Figure 9 Early 19th century 'reconstruction' drawing by J C Buckler intended to show the building as believed to have been originally built.²⁴

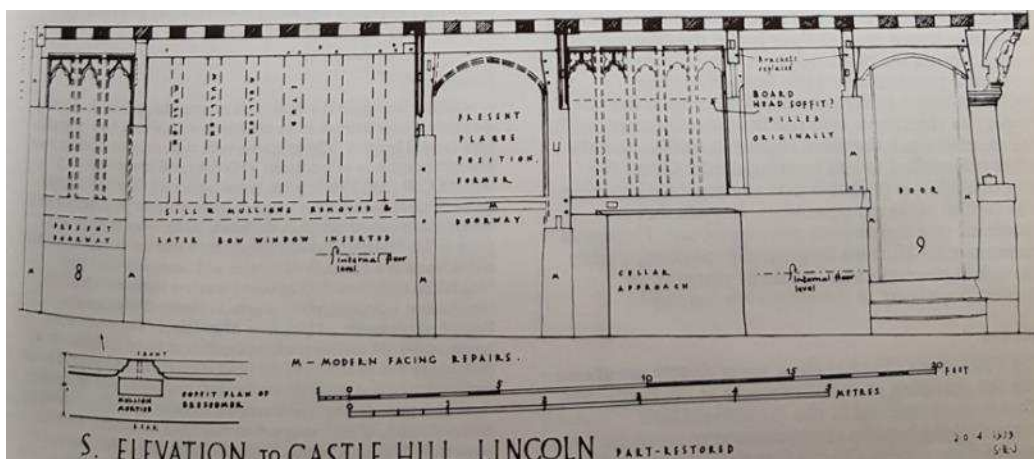


Figure 10 South elevation drawn in 1979 showing partially reconstructed presumed former traceried and other openings.²⁵

In the 1851 Census, 11 Castle Hill (the west tenement) was described as a 'Cabinet maker's show shop and house'. The eastern tenement at 1 Bail Gate was occupied by Samuel Stephenson, master brazier with 1 apprentice, his wife Frances, daughters Frances (milliner and dressmaker), Eliza (dressmaker) and Emma, and sons Samuel (brazier), Edward, William, Benjamin, and John.

The extract of the 1851 *Tithe Map* at Figure 11 shows Leigh-Pemberton House as plot no. 73 and subdivided into two properties. A small structure or enclosed area at the north end of the western external passageway (though at this time set behind and north of another small area or structure) was shown as associated with the study area and both tenements were shown as linked for the purposes of the tithe award.

The corresponding *Tithe Award* of 1850²⁶ identified plot no. 73 as owned by the representatives of Isaac Wood and the 'Two Houses & Premises' were occupied by Samuel Stephenson and Ralph Taylor.

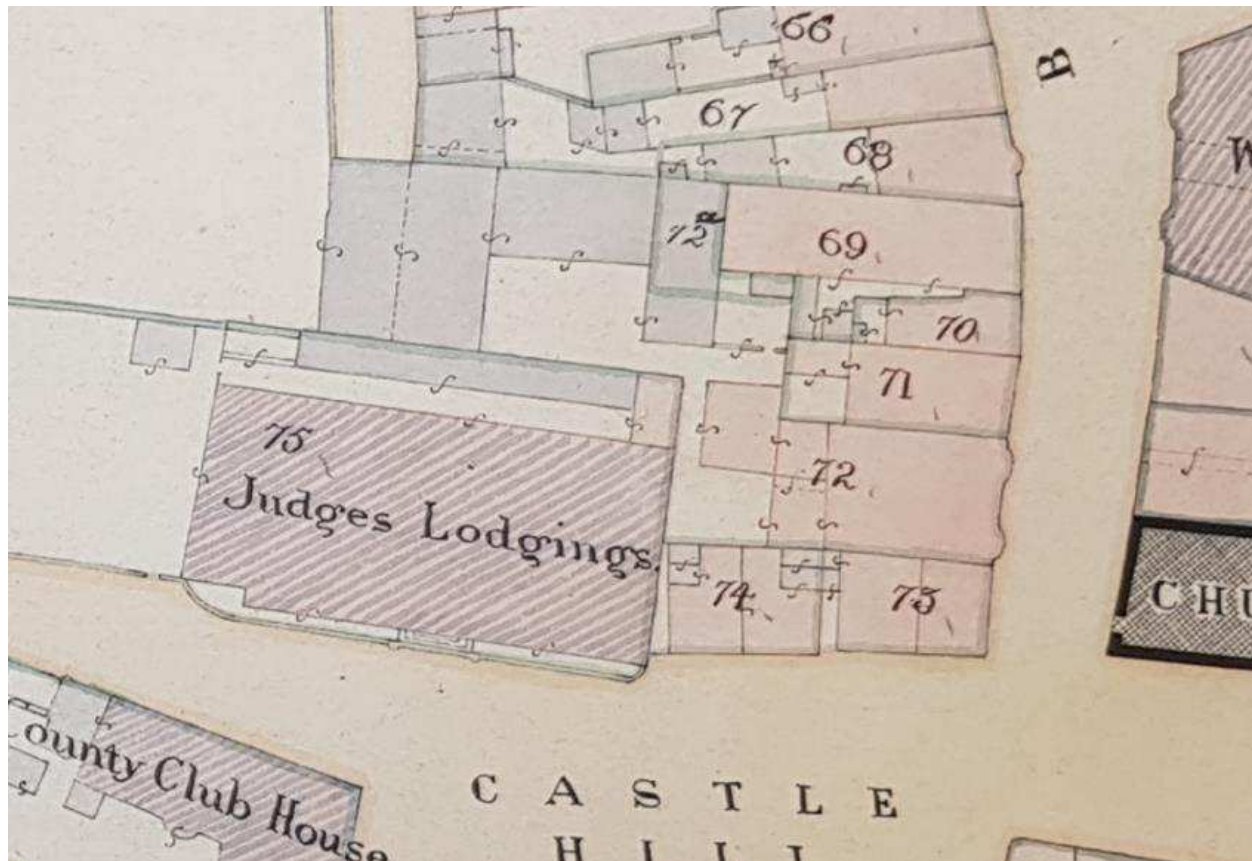


Figure 11 Extract from the 1851 *Tithe Map* for Lincoln showing the site as plot no. 73.²⁷

On the night of the 1861 *Census*, 11 Castle Hill (the west tenement) was shown as uninhabited and the east tenement (described as 12 Castle Hill at this time) was occupied by Samuel Stephenson (brazier and tin plate worker), his wife Frances, daughters Frances (milliner) and Emma, and sons Edward (attorney's clerk), Benjamin (butcher), and John.

By 1867, the *Lincoln Directory* identified Richard Barker at 11 Castle Hill and Samuel Stephenson at 12 Castle Hill/1 Bailgate.²⁸

The 1871 *Census* listed Richard Barker (greengrocer) at 11 Castle Hill (western tenement) with his wife Dinah, sons Arthur and William, and daughters Maryann and Brinna[?]. At 12 Castle Hill, (eastern tenement), Samuel Stephenson (brazier), was still identified but widowed, with his daughter Frances (housekeeper), and sons William (chemist and druggist), Benjamin (butcher), and John (butcher).

On the night of the 1881 *Census*, the east tenement of 1 Bailgate was occupied by Samuel Stephenson, retired brazier and his daughter Frances, and son, John. Historical regression suggests that the western tenement was at this time occupied by George Towle, a coachman, and his daughters Elizabeth and Fanny and they were confirmed at 11 Castle Hill in the 1881 *Lincoln Directory*.²⁹ By the time of the 1885 *Lincoln Directory*, Towle was listed at no. 8 and Stephenson at no. 9 Castle Hill,³⁰ suggesting that the street numbering changed at about this time.

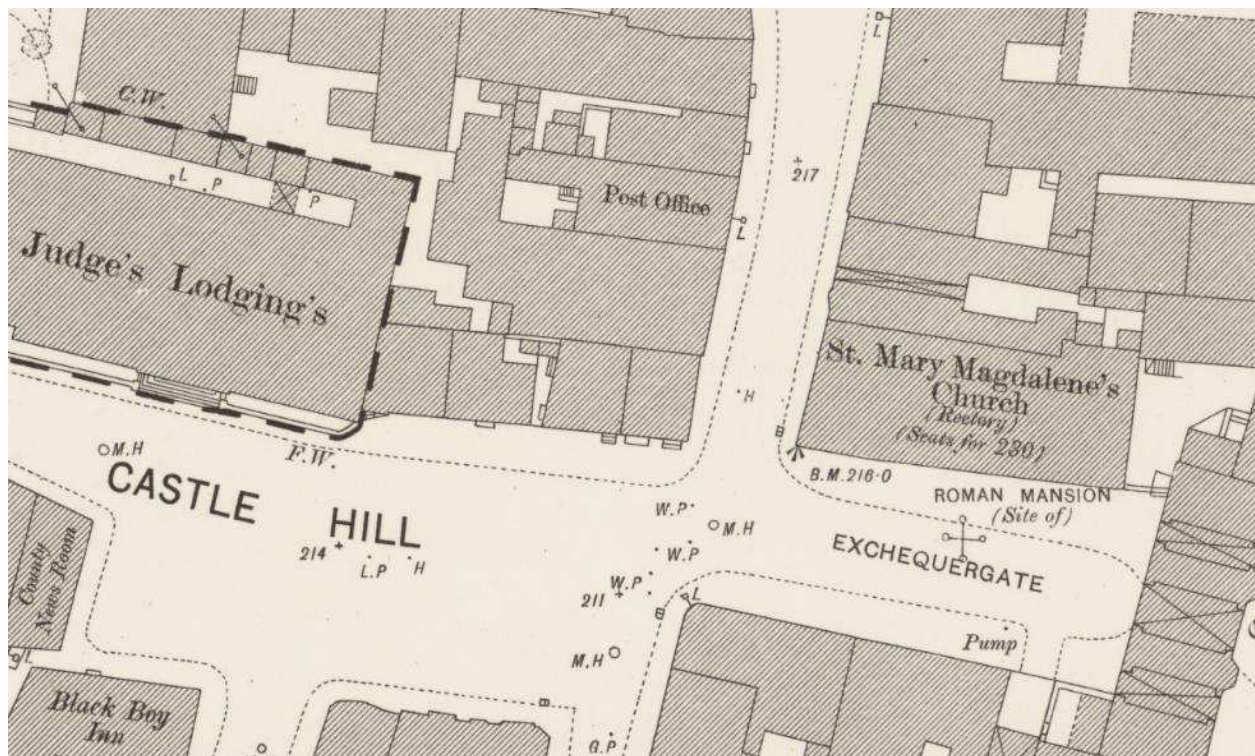


Figure 12 Extract from the 1886 large scale Town Plan of Lincoln.³¹

The 1886 OS Map at Figure 12 showed that the property was still two tenements and the steps to two separate entrances were depicted on the south elevation, as well as the area that provided access to the cellar (now blocked). What appears to have been an 'area' or possible lightwell to the cellar (near location of current external stair) in the western passageway and two further small outbuildings were depicted at the north end of the passageway forming an L-shaped layout.

By the time of the 1891 *Census*, 8 Castle Hill, the western tenement, was still occupied by George Towle, a coachman, his wife Rose, daughters Lizzie (bar maid), Fanny, and Daisy, his mother Mary Wells, and three boarders. 1 Bailgate was still occupied by the elderly Samuel Stephenson, retired brazier, and his daughter Frances.

Numerous photographs have been taken from the late 19th century onwards in particular of Leigh-Pemberton House due to its prominence. The earliest found during research is believed to date to about the late 1880s (see Figure 13). It shows the south elevation rendered and brick and stone steps still leading to the central doorway (now blocked) and eastern doorway. The small sunken area providing access down to the cellar and access doors in the lower wall are visible between the two sets of steps.

In the east elevation, the second floor southern window is shown infilled in the late 19th century, but this elevation level generally survives today. The first floor level at this time only had one window in the northern of the two current openings and it appears from the photograph (and others) to have comprised a multi-pane, horizontal Yorkshire sliding sash with nine panes in each sash. The current southern window opening was infilled at this time and there was no small window opening in the northern end as exists today. At ground floor level, there was a doorway to the north of centre (now blocked but the opening is extant) and the window arrangements have generally been retained today (earlier joinery was painted a dark colour). Shutters were clearly noted in the image and there were covered window lights within the wall at footpath level for the cellars (infilled today with only small vents and the lower wall at the north end has been rebuilt).

In the south elevation in the late 19th century, the elevation was shown rendered, and the timber framing concealed, as noted previously on the 1795 drawing at Figure 6. The second floor window openings contained horizontal Yorkshire sliding sashes (with six panes in each sash) and the first floor windows comprised three over six pane vertical sash windows. Fenestration of the south elevation first floor level has changed significantly since the late 19th century with some changes to the openings and locations as well as replacement of the windows themselves. At ground floor level on the south side, there was a large twelve over eight pane sash window to the west of the eastern door and the bow window of the western tenement was extant at this time and presumably was installed during the Georgian period.



Figure 13 c.1880s photograph of Leigh-Pemberton House with the south elevation rendered.³²

In 1901, the *Census* recorded Edmund Moss (tailor and lay clerk) at 8 Castle Hill. He was there with his wife Charlotte Elizabeth, daughters Ethel Amelia, Mary Winifrid, Ivy Gwendoline and Edna Lottie, and son Edmund Palmer. Frances Stephenson and her brother William (a retired chemist) were recorded at 1 Bail Gate. Their father, Samuel Stephenson, presumably passed away between 1891 and 1899, when Miss F Stephenson appears in the *Cook's Lincoln Directory* at 9 Castle Hill/1 Bailgate.³³

By the time of a 1905 *Lincoln Directory*, Edmund Moss was the only occupant listed for 8-9 Castle Hill and 1 Bailgate.³⁴

There was no apparent change to the footprint of Leigh-Pemberton House or its adjacent properties by the time of the 1907 OS Map.

The 1909 Lincoln Corporation sewerage connections map³⁵ at Figure 16 depicted a waste point at the southwest corner of the building running south to the sewer under Castle Hill, and another at the northeast corner of the building leading out to Bailgate. Two attached privies at the north end of the western external passageway were also connected to the sewer under Castle Hill.

The historical image at Figure 14 shows the building in the early 20th century with little change noted since the late 19th century (see Figure 13) except for a railing installed to the central southern elevation steps and further deterioration of the render. In this photograph, the door to Bailgate is open and it appears to have contained a shopfront selling confectionary. The eastern south elevation door was shown as a solid, six-panel wooden door with an arched lintel. The central door had a solid lower half with two panels, and a four pane upper glazed section.

It was interesting to note also on a c.1900 photograph taken from the Cathedral over the roof of the Exchequergate at Figure 15, that the roof of the building comprised plain clay tile except for the central bay roof which had plain flat clay tiles on the south side, with pantile behind. The banded brick chimney stack was visible near the centre of the building.



Figure 14 Early 20th century photograph of the 'half-timbered house, Castle Hill'.³⁶



Figure 15 Extract from a c.1900 images taken from the cathedral showing plain clay tile and pantile roofing on the building.³⁷

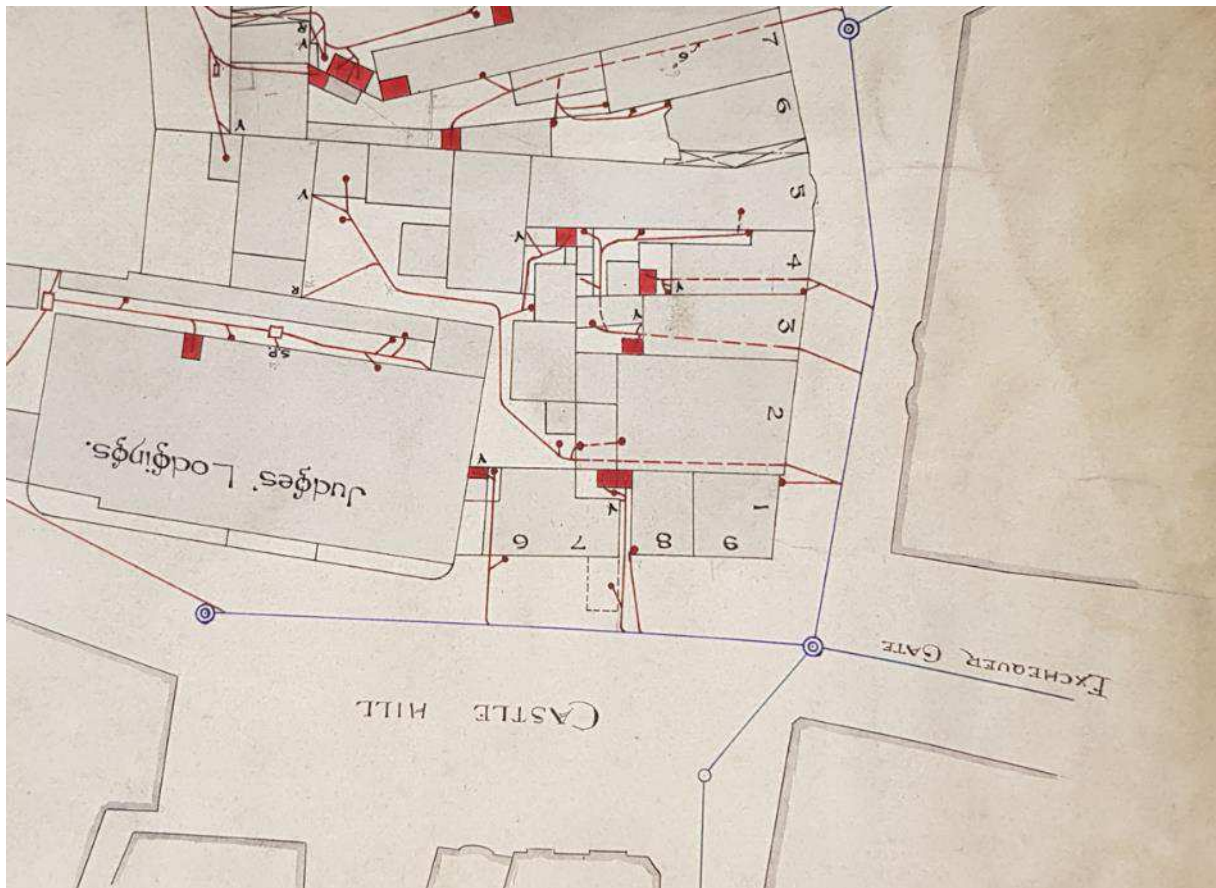


Figure 16 Extract from the 1909 Lincoln Corporation House Connections (sewerage) plan showing the study area as 8 and 9 Castle Hill and 1 Bailgate.³⁸

The *Tax Book* for 1910³⁹ identified a 'House & Shop' at 1 Bailgate occupied by Edmund Moss and 8 Castle Hill was occupied by George Clayton. Both were owned by 'Clifton Dodgson's Executors c/o Mr Danby.'

The 1911 *Census* still identified Moss at 8 Castle Hill (west tenement) and that it contained five main rooms. Moss was a tailor, and he was there with his wife Charlotte Elizabeth, daughters Ethel Amelia, Ivy Gwendoline and Edna Lottie, and son Edmund Palmer, an office boy. At 1 Bailgate (east tenement), was now Charles Cottam, a French polisher and antiques dealer with his wife Mary Elizabeth, sons Charles William and John Henry, and daughters Hilda Mary and Frances Louisa. The tenement comprised four main rooms and with these few rooms and unknown access to the uppermost level, it would appear that they may not have had access to the second floor of the property, and it may have only been accessible via the western tenement.

In 1911, the premises were purchased⁴⁰ and the Lincoln Above Hill branch was opened by The Union of London & Smiths Bank Ltd on 8th July 1912 as a daily agency to the Smiths Bank branch.⁴¹ In 1918 the National Provincial Bank of England merged with Union of London & Smiths Bank to become the National Provincial & Union Bank of England and the bank name was shortened to the National Provincial Bank in 1924.⁴²

An entry was not found at this time in the 1911 *Census* for 9 Castle Hill/1 Bailgate, suggesting that it was no longer in residential use by the night of the census. Moss was listed as 'practical working tailor' working on his own account at 8 Castle Hill. The *Lincoln Directory* of 1913⁴³ confirmed that 'The Union of London & Smith's Bank Ltd' was by this time located at 9 Castle Hill (east tenement) and Moss was still at 8 Castle Hill. By the time of the 1919 *Lincoln Directory*,⁴⁴ the bank was called 'The National Provincial and Union Bank of England Ltd' and Moss was still at 8 Castle Hill.

The NatWest Group Archives hold several images for the building, including several interior photographs. They had one photograph showing the ground floor interior banking area (see Figure 17) that was taken between 1912 and 1923 that shows the bank counter running north-south across the western side of the eastern tenement ground floor space. It shows the earlier configuration with a wall, opening, and staircase on the west side in the location of an open-plan visitor centre shop space today.

The window with the lettering 'BANK' across the centre row of a twelve pane lower sash (with eight panes over) has replaced an earlier sash window shown in Figure 13 and Figure 14 that was in a twelve over eight configuration (or was the earlier window reconfigured and refitted?).



Figure 17 1912-1923 interior photo looking southwest in the ground floor banking chamber of the east tenement.⁴⁵

In the 1921 *Census*, Edmund Moss was still recorded with his family at 8 Castle Hill, indicating that the western tenement was still in residential use, and this was confirmed by the 1922 *Lincoln Directory*.⁴⁶ The 1922 directory showed the bank at 1 Bailgate/9 Castle Hill and at 1A Bailgate, presumably in offices on the upper floors, were also a Miss M C Tenney, the organising secretary of Eastern Counties Association for the Blind, and Miss L Lambe, the secretary of the City of Lincoln Voluntary Association for Mental Welfare.

In 1929, building work was apparently carried out for the National Provincial Bank Ltd,⁴⁷ but details of the works were not found during research.

By the time of the 1932-1938 OS Map at Figure 18, although there was no apparent change to the Leigh-Pemberton House site overall and the site was still shown subdivided as two tenements, the land immediately to the north at 2 Bailgate and along the north side of the Judges' Lodgings had been extensively redeveloped for a car park.

In 1937, further work was carried out for the bank and photographs show extensive restoration and repair work to the building at Figure 19 to Figure 23. Although no drawings or specifications were found for this period of work (likely included in the inaccessible drawings in Lincolnshire Archives), the photographs suggest that works by William Wright & Son Contractors of Park Street, Lincoln, included the removal and replacement of much of the south elevation plasterwork infill of the timber framing.

Scaffolding did not continue around the east side (see Figure 20), suggesting that minimal work was carried out during this period to the east elevation. However, the photograph does suggest that by 1937, windows had already been inserted in the infilled south openings of the first and second floors and the northern of the first floor windows had been replaced. It is thought that the northern second

floor window of the east elevation is the oldest surviving window in this side (though altered), with the other windows presumably dating from the 1929 works. Details of these windows match the 1937 windows in the south elevation. Were the 1937 windows designed to match the c.1929 windows, or were the east windows altered to match the new 1937 windows?

Ground floor windows appear to have been retained to both elevations in 1937, but all the upper floor windows of the south elevation had been removed and replaced with the current metal and crown glass windows. Some louvred glass had been installed in one of the panes of the eastern elevation ground floor south window (possibly in c.1929).

In 1937, the external door to the western of the south elevation doors had been replaced with a single lower panel (boarded and reused later in the western doorway) with multi-pane, two glazed upper panels door, and the door to the eastern entrance had been replaced with what appears from the photograph at Figure 23 to have been a plain two-panel (panels made up of boards) door. Exposed timbers of the jettied floors and brackets had been repaired, restored, and replaced as needed and the steps to the south elevation doors had been rebuilt and railings installed. Joinery had been painted a dark colour.

Some further 1930s photographs were provided by the NatWest Group Archives of the ground floor interior and these were presumably taken following completion of the works and updating of the banking chamber in 1937 (see Figure 24 and Figure 25). They showed that the banking counter was still in place as shown earlier in Figure 17, but a timber and glass draught lobby had been installed at the front door (eastern door of the south elevation). The window in the south elevation next to the south end of the counter had a hopper window above the lower fixed sash.



Figure 18 Extract from the 1932-1938 OS Map.⁴⁸



Figure 19 Photo taken in 1937 during works with scaffolding up and render stripped to reveal the timber framework.⁴⁹

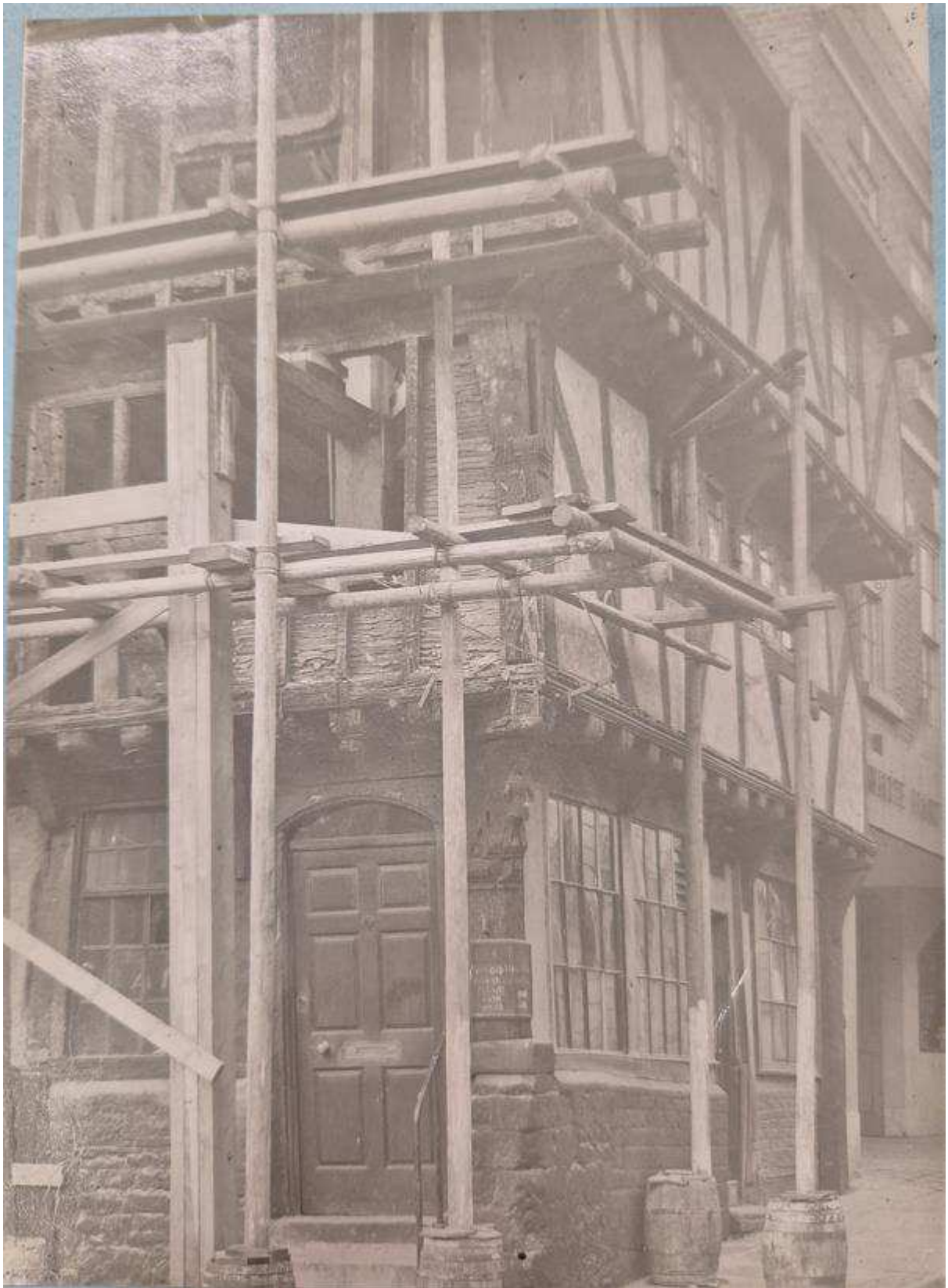


Figure 20 Photo taken in 1937 during works showing a close up view of the Castle Hill/Bailgate corner. Render has been removed from the south elevation.⁵⁰



Figure 21 Photo taken in 1937 during removal of the south elevation render exposing some of the timber framework and the back of surviving internal plasterwork above jettied section and window opening.⁵¹



Figure 22 Photo taken in 1937 during removal of render exposing timber framework and jettied section.⁵²

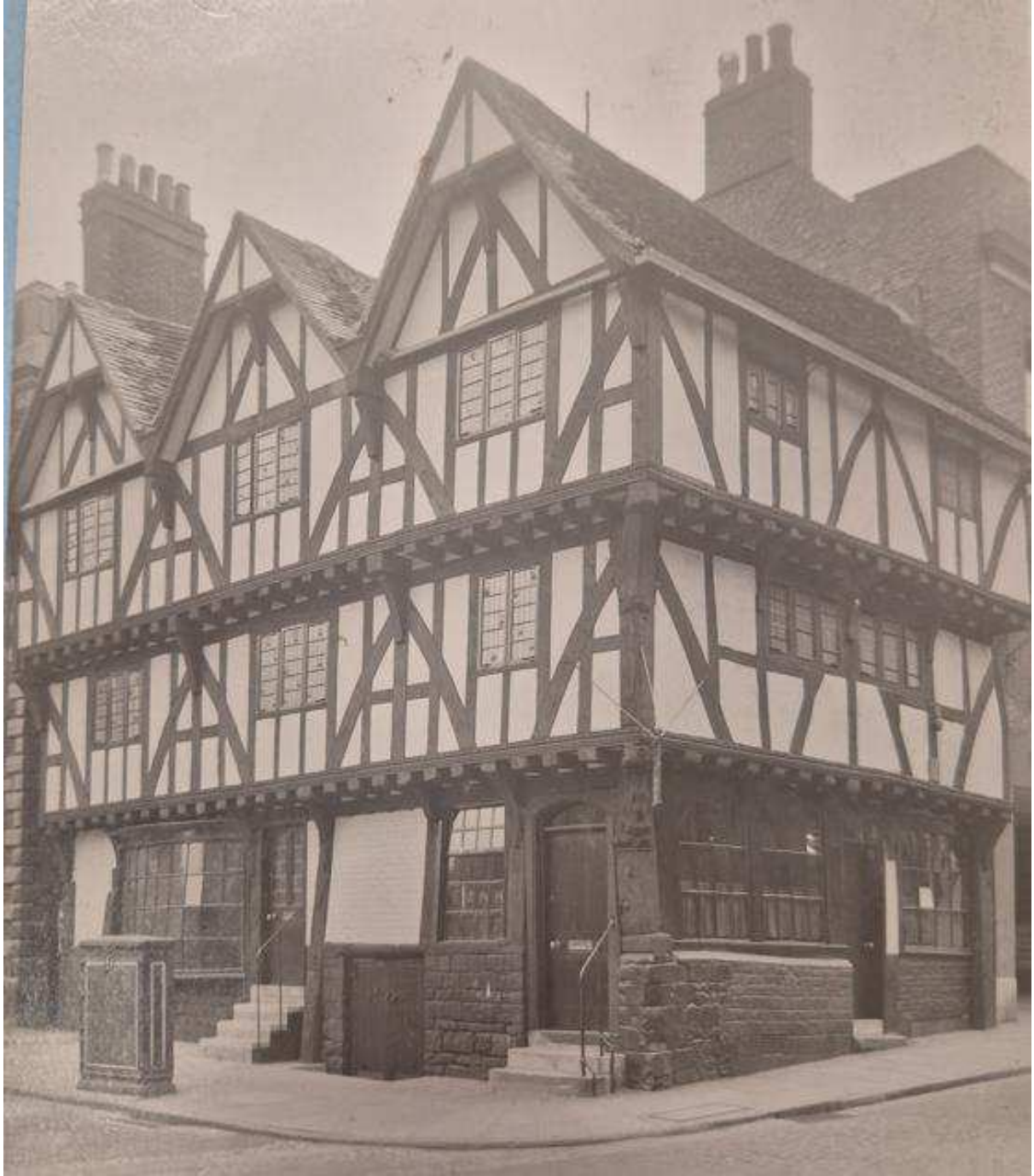


Figure 23 Photograph taken in 1937 following completion of extensive repair and conservation work.⁵³



Figure 24 1930s interior of the banking chamber looking south-southwest.⁵⁴



Figure 25 1930s interior of the banking chamber looking southwest.⁵⁵

The 1939 *Kelly's Directory*⁵⁶ only listed the 'National Provincial Bank Ltd (sub-branch of High Street)' at 1 Bailgate and 9 Castle Hill. This was also the case by the 1970 and 1975 *Kelly's Directories*, where the National Westminster Bank Ltd was identified at 8/9 Castle Hill.⁵⁷

On 20th May 1954 the site became a branch office to Lincoln when it was located at 9 Castle Hill.⁵⁸

A leaflet on the building from the NatWest Group Archives dated 25th July 1958 stated that there had been recent alterations and that they had taken the opportunity '...to display the fine examples of half-timber work to the best advantage'.

It also stated that evidence for a window in the north wall (location was not specified) had been uncovered during alteration works showing that the building had originally had an elevation facing north.⁵⁹

The leaflet also stated that the contractors for the alterations were William Wright & Son (Lincoln) Limited working with the Bank's architects. The site was supervised by Mr J A Higgins, Surveyor and Clerk of Works for Lincoln Cathedral (pre-1958).⁶⁰ A box of drawings was located at Lincolnshire Archives that are believed to relate to the Wright works to the building and it could include drawings for the c.1929, 1937, and 1957-58 work. Unfortunately, and as discussed previously, the drawings were considered not fit for production due to their condition and could not be viewed to determine their usefulness.

A set of presumed existing plans drawn in 1957 were included in the 1996 survey of the building and they were apparently copied from drawings included in a planning application at this time. The drawings have been extremely useful in showing earlier layout within Leigh-Pemberton House during its use as a bank and presumably the bulk of the layout depicted in 1957 reflects the changes made in 1937. They have been included at Figure 26 to Figure 30.

On 12th August 1957, the bank moved for a short time into temporary premises at 88A Bailgate, Lincoln.⁶¹ This was presumably to facilitate the works.

The cellar/basement level at Figure 26 shows that there were three separate access points into the cellars at this time and that the east and west tenement cellars were not connected in 1957. There was one internal access from the ground floor of the western tenement cellars on the north side of the building. An external access stair was located at the southwest corner of the building and steps came down into the western tenement cellars from the west side passage near the current steps on the west elevation (this is now blocked). A second external access stair appears to have been the only access to the eastern tenement cellars and steps were on the south elevation to the west of the eastern access door. It is also blocked, but interpreted through false doors below the window and the opening is still visible in the basement (currently used as a cupboard).

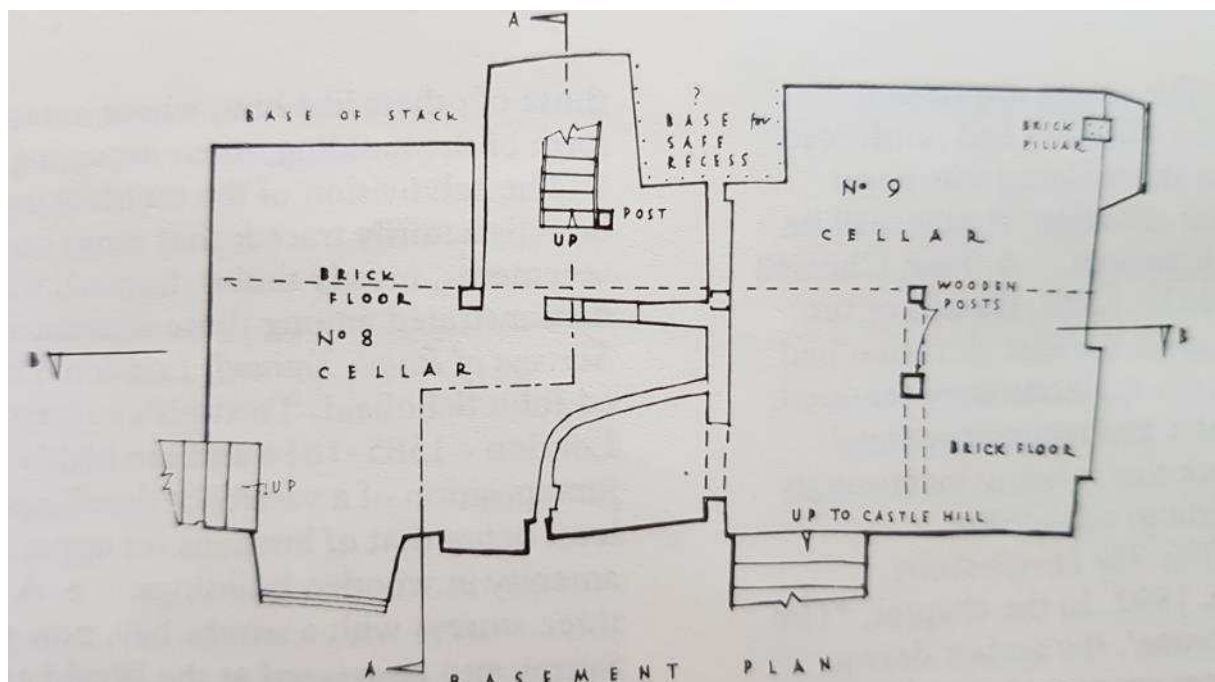


Figure 26 Basement/cellar plan based on a survey from February 1957.⁶²

The basement floors were described as brick and there were various brick pillars and timber posts. The eastern tenement comprised a large single space, but it had a small, curved-wall room accessed off the southwest corner of the space (within the footprint of the western tenement). The western tenement was formed of a roughly L-shaped open space (presumably the curved wall room of the adjacent tenement was originally part of this cellar space) and it had direct internal access via the stair within the separate room at the northeast corner of the western tenement cellars.

The base of the large chimney stack at the northwest corner of the building was also depicted in the basement, as well as a possible base for a safe on the ground floor on the north side.

The ground floor in 1957 at Figure 27 showed that the former east and west tenements were connected via a doorway at the centre of the dividing wall and the west side was raised up by a couple of steps with a 'plank floor'. The west tenement comprised a large L-shaped space with a bow window and steps to the front access door into the space at the centre of the south elevation.

There was a large fireplace and store cupboard (did this perhaps originally provide access to the exterior?) at the northwest corner and a short partition extending into the room from the south wall at the southwest corner. There was also a small window in the west elevation. The northwest corner store cupboard is extant today and concealed behind the later northwest corner staircase (visible through a modern hatch door in the north wall of the stair). The fireplace was not viewed, but it is apparently used as a stock cupboard by the visitor centre and is currently concealed behind display shelving beneath the corner staircase.

The original internal basement access and upper floor access for the west tenement were concentrated at the northwest corner of the space and the east tenement stair to the upper levels was also located here and it encroached into the footprint of the west tenement but was accessed from the east side. The staircases were later removed, and a single basement stair inserted.

The east tenement in 1957 was a large open space with a central banking counter on the north side of the room and partitions across the south end of the counter area and also enclosing a draught lobby to the entrance door at the southeast corner of the room. A safe recess was noted at the northwest corner of the room behind the counter. The counter is shown truncated compared to the one shown in the 1912-23 photograph at Figure 17 and the 1930s images at Figure 24 and Figure 25, suggesting that the counter was altered and partition installed across the south end c.1937-1957.

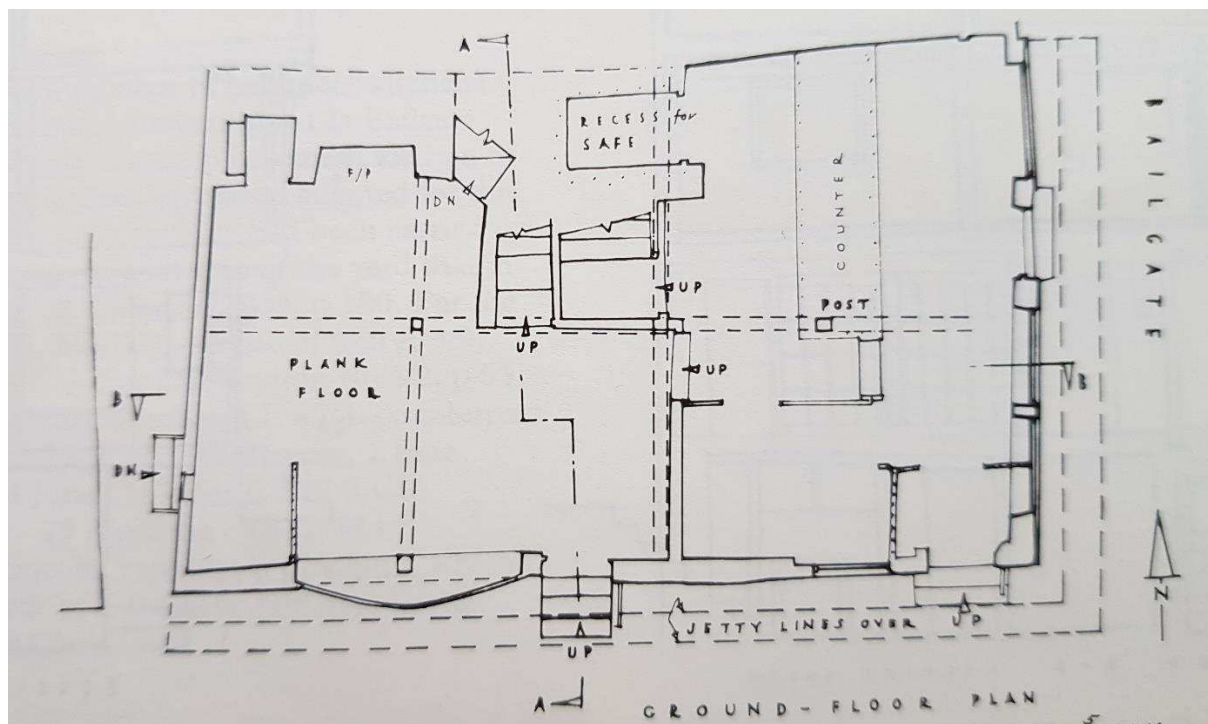


Figure 27 Ground floor plan based on a survey from February 1957.⁶³

On the first floor in 1957, the survey plan at Figure 28 shows that the west tenement comprised a large L-shaped space with staircases to the upper and lower levels at the northern side. A cupboard was embedded in the east wall of the stair landing and there was a fireplace in the north wall of the central part of the space.

The floor was linked through to the former east tenement via a doorway on the south side of the dividing wall and the east tenement comprised two separate rooms with a doorway at the east side of the central dividing wall. Original access to this level was from a stair at the northwest corner (now gone), but there was no separate stair on the east side to the second floor.

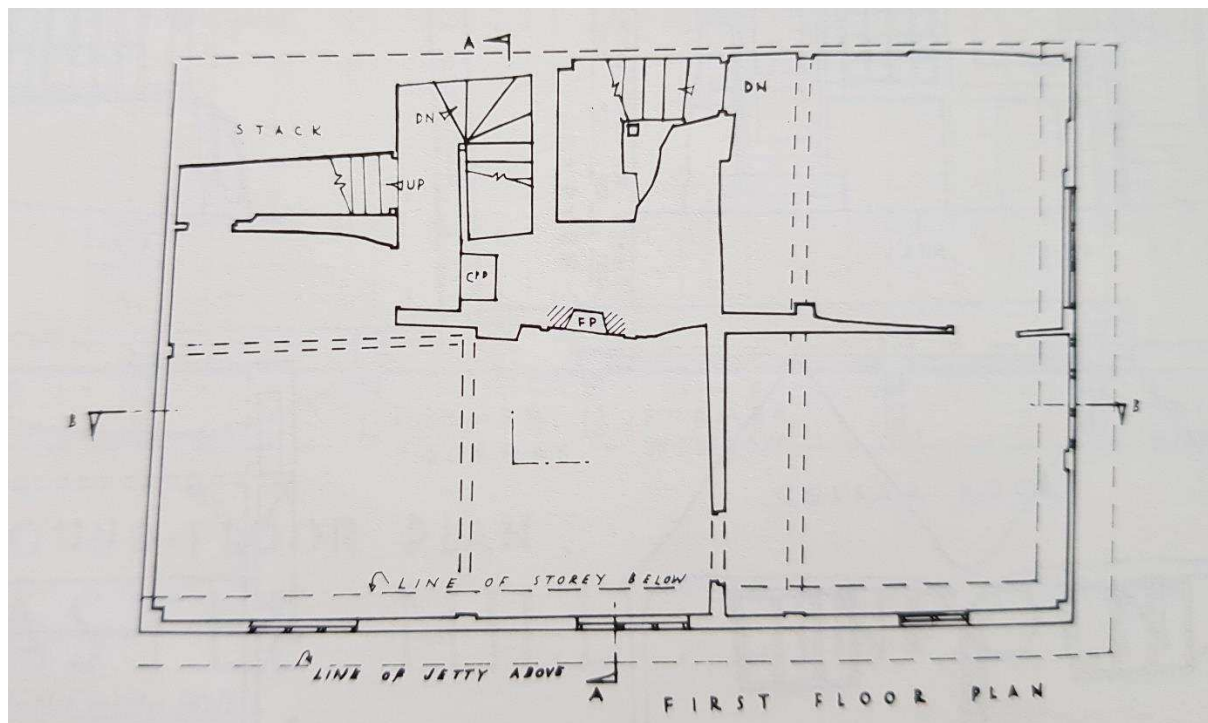


Figure 28 First floor plan based on a survey from February 1957.⁶⁴

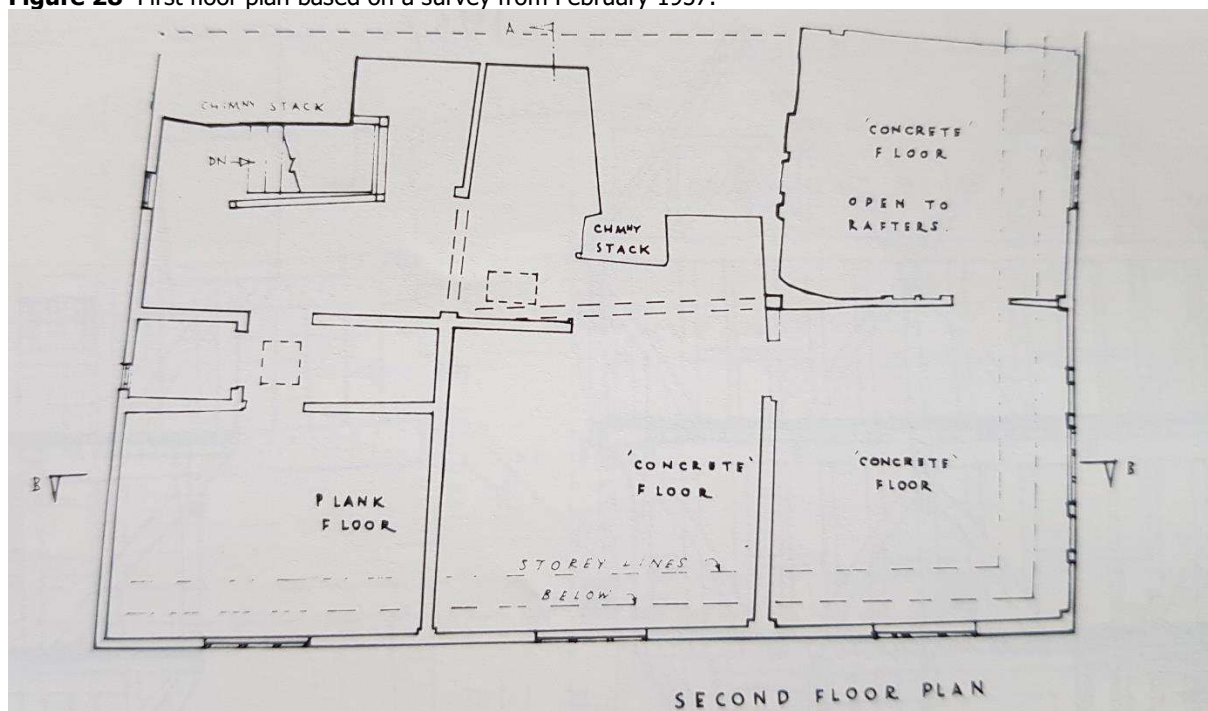


Figure 29 Second floor plan based on a survey from February 1957.⁶⁵

In 1957, the second floor as shown in the plan at Figure 29, showed the only access to this level via a stair at the northwest corner of the western tenement surrounded by a wide landing (a stair rose in the opposite direction to the current stair originally in this location). On the west side there was a narrow space with a small room with window (part of the current shower room – possibly an earlier toilet in 1937?) to the south of the landing, with access through to a room at the southwest corner (current kitchen and toilet and shown as having a 'plank floor').

Off the east side of the stair landing, there was access to a central room on the south side and then further access through to the southeast corner room that was linked further to the northeast corner

room. These three rooms were described as having 'concrete floors' (possibly earlier lime-ash flooring, or later concrete floors). The northeast corner room was open to the rafters and there was a central chimney stack.

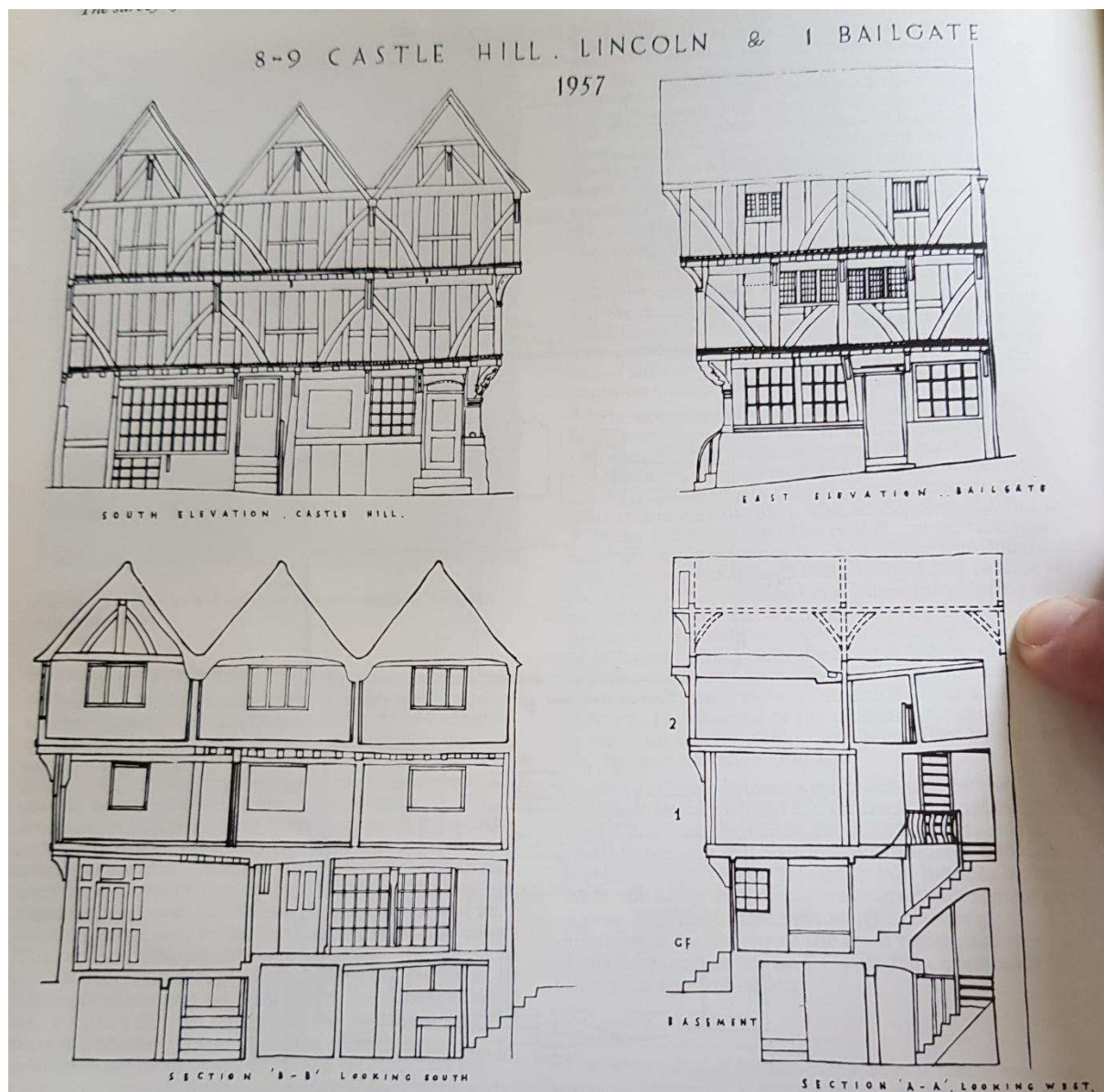


Figure 30 1957 elevations and sections.⁶⁶

Two contemporary photographs of the interior dated 1958 were provided by the NatWest Group Archives and are shown at Figure 31 and Figure 32. They presumably show completed alterations to the ground floor banking chamber as part of the 1957-58 work. The photographs show that the earlier north-south banking counter had been replaced and realigned to run east-west across the centre of the former east tenement ground floor space.

Louved glass panes were noted in windows of the east elevation and a draught lobby had been created (or the existing as shown in earlier photos and the 1957 survey plan reconfigured and altered) at the southeast corner.

Stone flag floors were noted in the east side and a doorway with two steps led through to the former west tenement side where the area had been reconfigured. Plans and photographs suggest (by the location of existing timber posts) that the wall dividing the former east and west tenement shown in 1957 had been replaced with a new wall set further to the west.

It is believed that the 1957-58 works also saw the blocking of the central southern elevation doorway and the insertion of the new doorway and steps at the western end of the southern elevation. The c.1937 door from the central location was relocated and reused to fit in the new western opening. It is also presumed that this was also the period of complete alteration of the stairs to the property on the

north side of the building and insertion of a new stair at the northwest corner to provide the only access to the upper levels, and a new stair to the basement level (the only access to the cellars).



Figure 31 Photo dated 1958 looking west in the banking chamber with replacement wall and counter.⁶⁷



Figure 32 Photo dated 1958 looking east in the east side of the banking chamber with draught lobby.⁶⁸

A photograph dated c.1960 at Figure 33 showed that the rebuilding and removal/infill of the former window lights in the lower wall at pavement level had been carried out and a vent installed on the south side of the doorway in the stone lower wall.

The small window at the north end of the first floor east elevation had also been inserted by this time and presumably this was done at the time of the 1957-58 works.



Figure 33 Photograph taken in c.1960 looking southwest along the southern end of Bailgate to Leigh-Pemberton House on the corner.⁶⁹

Leigh-Pemberton House became a full banking branch on 22nd February 1960.⁷⁰

In 1962, it was interesting to note that the prominence of Leigh-Pemberton House meant that it was used repeatedly as a backdrop building in the movie *'The Wild and the Willing'* that was filmed in Lincoln and starred Ian McShane, Jeremy Brett, Virginia Maskell, John Hurt and Samantha Eggar. A still frame from the film is included at Figure 34.

Further images were taken in 1967 to show the configuration of the building at this time (see Figure 35 and Figure 36. They (and earlier images such as Figure 34) show clearly that a window had been inserted to the west of the existing window adjacent to the eastern door in the south elevation, and it is believed that this also occurred during the 1957-58 works. The photos also suggest that the window adjacent to the east door had been replaced to match the new window.

In 1968 Westminster Bank and National Provincial Bank, along with National Provincial's subsidiary District Bank, announced their intention to merge. The operations of all three banks were combined over the following 18 months and they began to trade as National Westminster Bank from 1st January 1970.⁷¹



Figure 34 Still frame from the movie *'The Wild and the Willing'*, that was filmed in Lincoln in 1962. Leigh-Pemberton House featured as a backdrop building in the movie.⁷²



Figure 35 1967 image looking northwest to the corner of the building.⁷³



Figure 36 South elevation of Leigh-Pemberton House in 1967.⁷⁴

On 15th June 1970 the branch moved to 4 Eastgate, Lincoln and the name of the branch changed to Lincoln Cathedral branch.⁷⁵ In 1970, some further unspecified works were apparently carried out for the National Westminster Bank Ltd. Upon the transfer of branch business, the building at 1 Bailgate (8-9 Castle Hill) was known as the Lincoln area office and Leigh-Pemberton House was retained as an office until 1979.⁷⁶

The 1974-1975 OS Map at Figure 37 showed both original tenements as a single property as no. 8 Castle Hill and it was identified on the map as a bank.

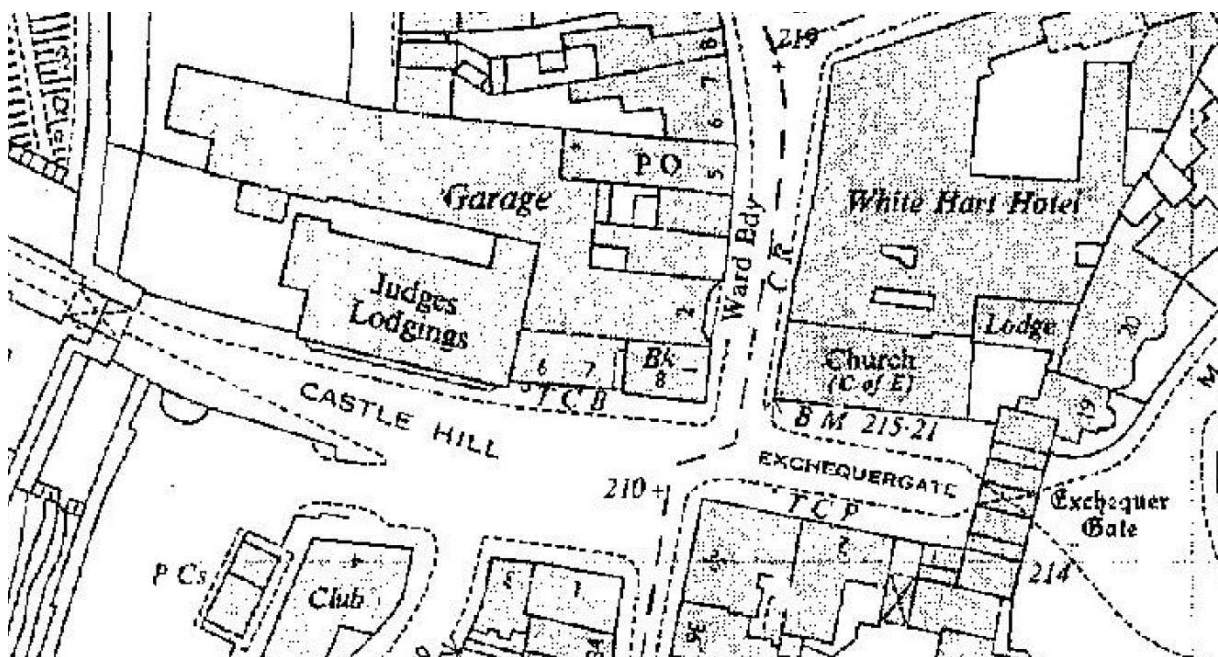


Figure 37 Extract from the 1974-1975 OS Map.⁷⁷

On the 31st May 1979, the National Westminster Bank presented the building to the Dean and Chapter of Lincoln for use by Lincoln Cathedral by the then chairman of the regional board of NatWest, T.G. Boardman,⁷⁸ and it was named after the chairman of the bank, Mr Robert Leigh-Pemberton D.L., who later served as the Governor of the Bank of England from 1983-1993.

Works were carried out to the road and paving of Castle Hill in c.1979 with a City of Lincoln plan showing York stone paving across the front of 6-7 and 8-9 Castle Hill and returning around the corner to Bailgate at Leigh-Pemberton House.⁷⁹ The locations of the current west and east steps to the south elevation doorways were depicted.

At about the time it was handed over, a drawn survey showing a reflected ceiling plan was carried out for the ground floor of Leigh-Pemberton House and included in the 1996 survey of Lincoln's ancient houses.⁸⁰ An extract of the ground floor from 1979 is included at Figure 38.

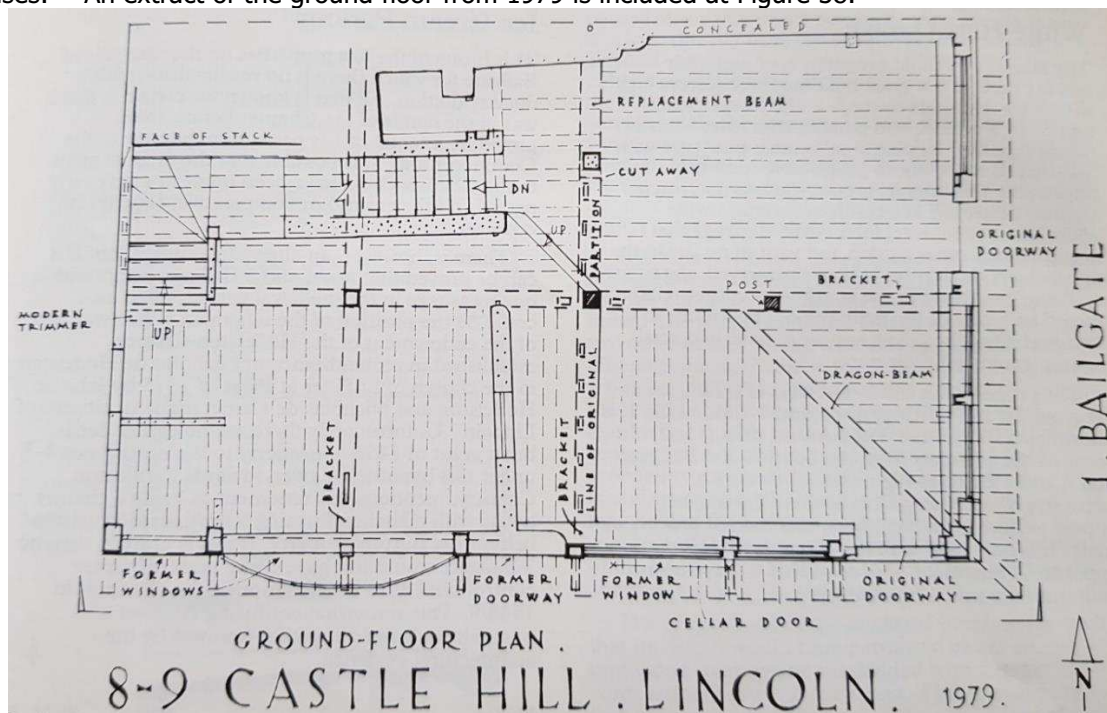


Figure 38 Ground floor plan surveyed in 1979.⁸¹

The 1979 plan was available for the ground floor only and it shows changes between the time of the 1957 survey and 1979 (presumably reflecting works carried out in 1957-58). Changes included:

- The removal of the wall in the alignment of the original north-south partition wall that divided the east and west tenements.
- Building of a new wall to the west of the original partition wall alignment, that abutted the centre of the original centre doorway (blocked) in the south elevation.
- Removal of original stairs at the north side of the building and insertion of a new concrete stair leading down to the west from ground floor to basement level and new stair at the northwest corner linking the ground floor to the upper levels.
- Creation of a draught lobby at the southwest corner of the former west tenement.
- Replacement part of beam at the north end of the central dividing line.
- Suggestion of the existence of the doorway in the western elevation by this time.

A further survey of the whole building (presumed of the existing layout and described as No. 8 Castle Hill) was carried out by David Vale, architect from the Works Office of Lincoln Cathedral in January 1986. A copy of the survey drawings is included at Figure 39.

Works noted between 1957 and 1986 (the majority probably part of the 1957-1958 works) included:

Basement Level

- Reconfiguration of the basement level to largely its current layout, including insertion of the large strong room.
- Electrical meters were noted at the northeast corner on the north side of the strong room.
- A passageway ran around the west, south, east, and partially around the north sides of the strong room.

- Installation of partition walls and services to create a toilet, washbasin area and store cupboard at the foot of the stair and in the passageway to the southwest of the strong room.
- The former stairs that originally led up to the west external passage through the west wall, and through the south wall up to Castle Hill had been blocked by 1986.

Ground Floor Level (These changes were noted between the time of the 1979 and 1986 surveys.)

- Possible rebuilding/reconfiguring of the wall leading north from the former central doorway in the south elevation and enclosure of the western space to form a 'card shop' detached from the eastern side.
- Insertion of a new partition wall along the west side to create a corridor from the southwest corner doorway to both the 'card shop' and north through a doorway in a draught lobby/entrance to the stair to the upper floors.
- Cupboard depicted into space in chimney stack at northwest corner opening into the stair via a hatch.
- The draught lobby had been removed from the southeast corner doorway.
- Eastern side converted for use as the 'City Tourist Information Office', and it had the only access stair to the basement level.
- East elevation doorway suggested as blocked.

First Floor Level

- Reconfiguring of the staircase core in the north side of the building including removal of earlier stairs and new stair at northwest corner to connect ground floor to second floor.
- Creation of three separate offices at the southwest, northeast, and southeast corners, complete with the insertion of modern partition walls.
- Retention of the brick fireplace noted on the 1957 survey drawing within the cupboard in the central corridor (noted during site visit and believed to have been later refitted in 1957-58 including seats either side to form a nook – then later closed off as a cupboard).

Second Floor Level

- Reconfiguration of the southwest corner shown on the 1957 survey. Included a water cylinder within the eastern side of the central narrow space. Two toilets were installed with new wall partitions along the west side with the male toilet on the north (currently the shower room), and the female toilet in the southwest corner with the area of the current kitchen that was formerly used for the ladies toilet wash basins.
- The rest of this level was also heavily reconfigured to create three separate offices. In 1957, the spaces were shown linked together and accessed through each room. By 1986, the central office was accessed of the stair landing (with a large storeroom off the north side), and the southeast and northeast offices were connected via a newly created corridor running around the north and east sides of the chimney breast.

Changes noted after the survey of 1986 have included:

Basement Level

- Conversion of wash basin area to small kitchen area.

Ground Floor Level

- Opening up of the former western shop to become an open-plan tourist information centre and shop.
- Removal of the draught lobby in the western corridor at the southwest corner.
- Changes to counters and steps within the space.

First Floor Level

- No change to layout.

Second Floor Level

- The conversion of the ladies' toilet wash basin area to a kitchen and the former male toilet to a shower room.
- The water cylinder space had been converted to use as a tea station/storage.
- Sink has been removed from the southwest corner of the central office.

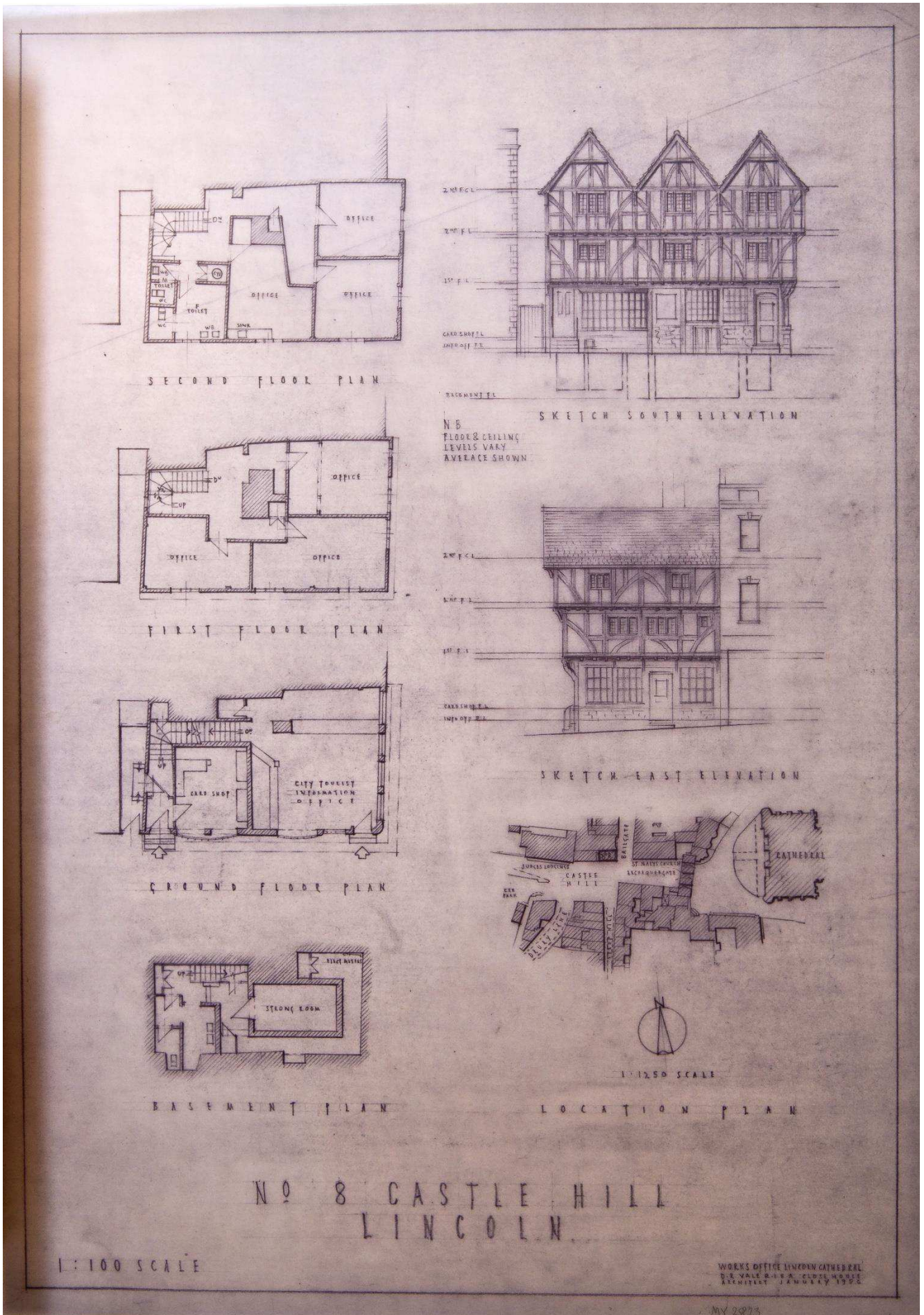


Figure 39 Survey plan carried out by David R Vale in January 1986.⁸²

In August 1998, approval was granted by City of Lincoln planning for the removal of a partition wall separating ground floor rooms of premises and the reinstatement of a partition wall to the staircase leading to the first floor.⁸³ Building work was recorded as started on 25th September 1998 for the removal of the wall to form a larger retail area.⁸⁴

In March 2002, pigeon proofing works were approved for 8/9 Castle Hill.⁸⁵

In September 2011, approval was conditionally granted for change of use of the first and second floors from office use to a single residential unit.⁸⁶

The most recent use of the building is as a visitor centre for Lincoln on the ground floor and basement, with a holiday let two-storey flat above.

The holiday let use has recently ceased and the flat is currently vacant and has been recently acquired by Leigh Pemberton House (TSP Investments) Ltd.

Historical Development Plans

The following historical development plans have been produced to provide an indication of the historical evolution of the building based on available information and the preceding analysis.

They have been produced for the areas of the building where there are proposed changes only and apart from general repair and restoration work for the building, these changes are confined to the first and second floors of the building.

The basement and ground floor (with the exception of the western corridor) will remain unchanged and continue use as a visitor information centre.

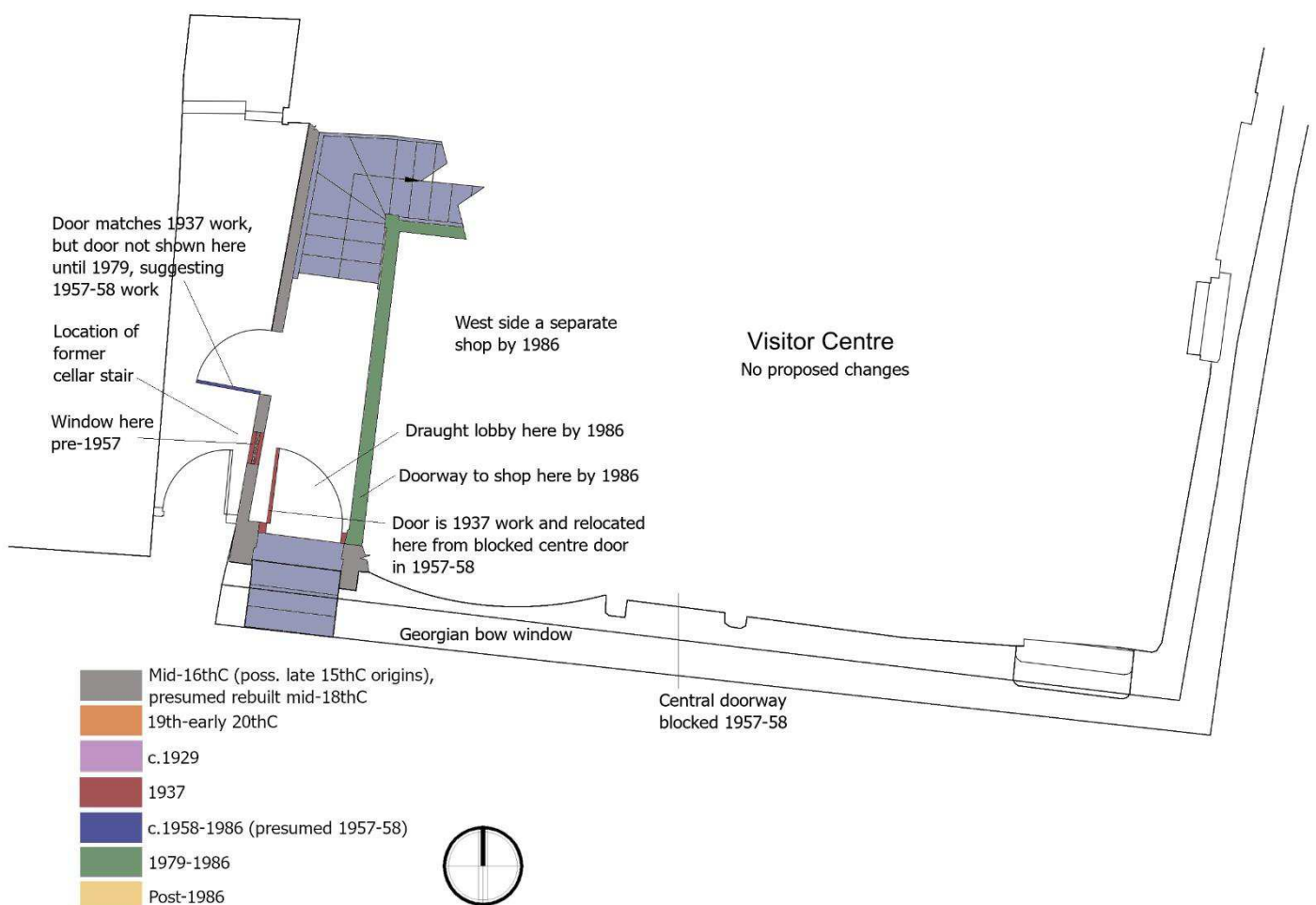


Figure 40 Summary historical development plan for part of the ground floor level. Please read in conjunction with the historical development analysis. Not to scale, approximate only. Where a detail is in question, it should be checked on site and care should be taken during future works in case early fabric is concealed. If further historical information becomes available in the future, then this plan should be updated accordingly.

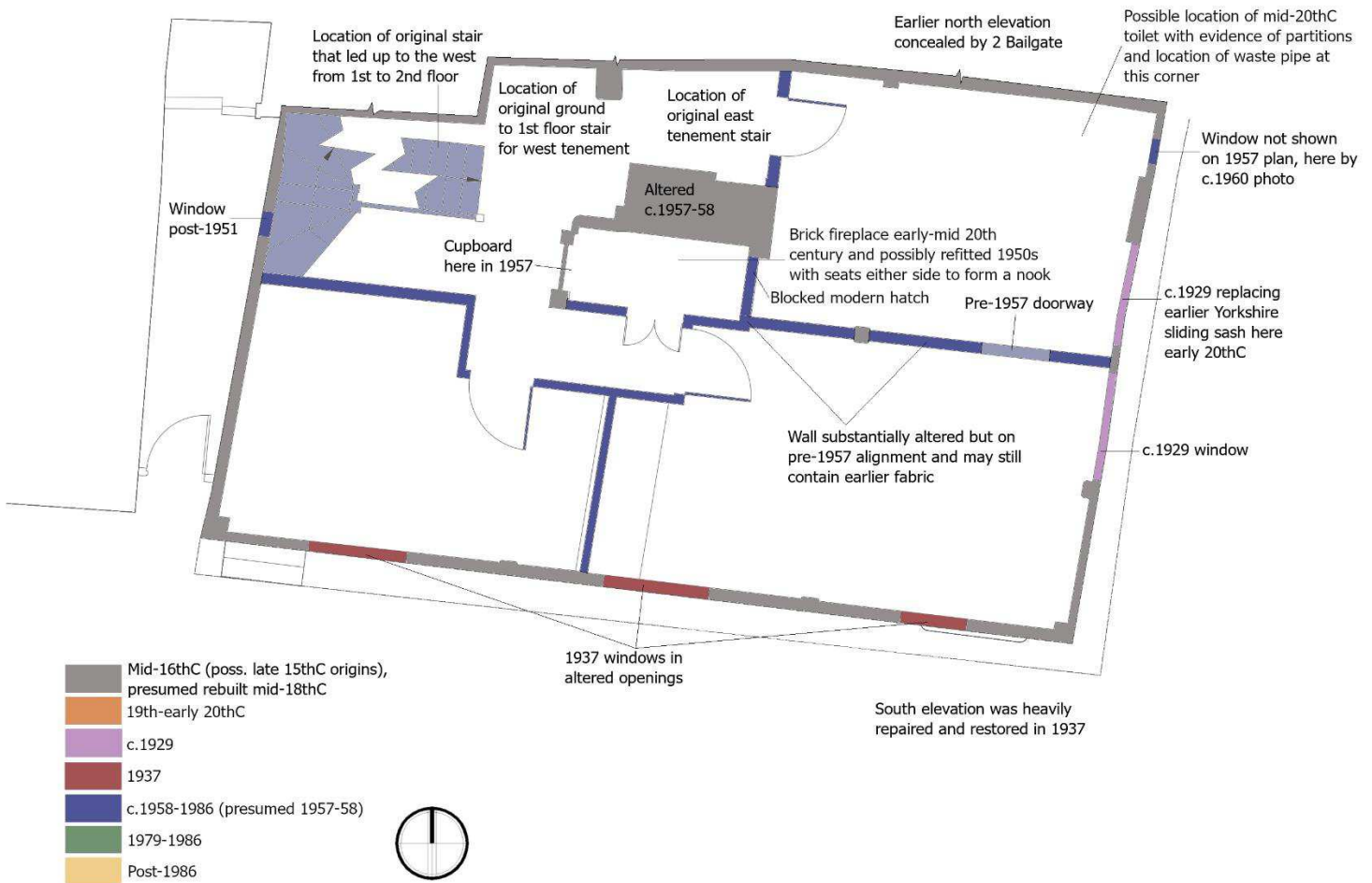


Figure 41 Summary historical development plan for the first floor level. Please read in conjunction with the historical development analysis. Not to scale, approximate only. Where a detail is in question, it should be checked on site and care should be taken during future works in case early fabric is concealed. If further historical information becomes available in the future, then this plan should be updated accordingly.

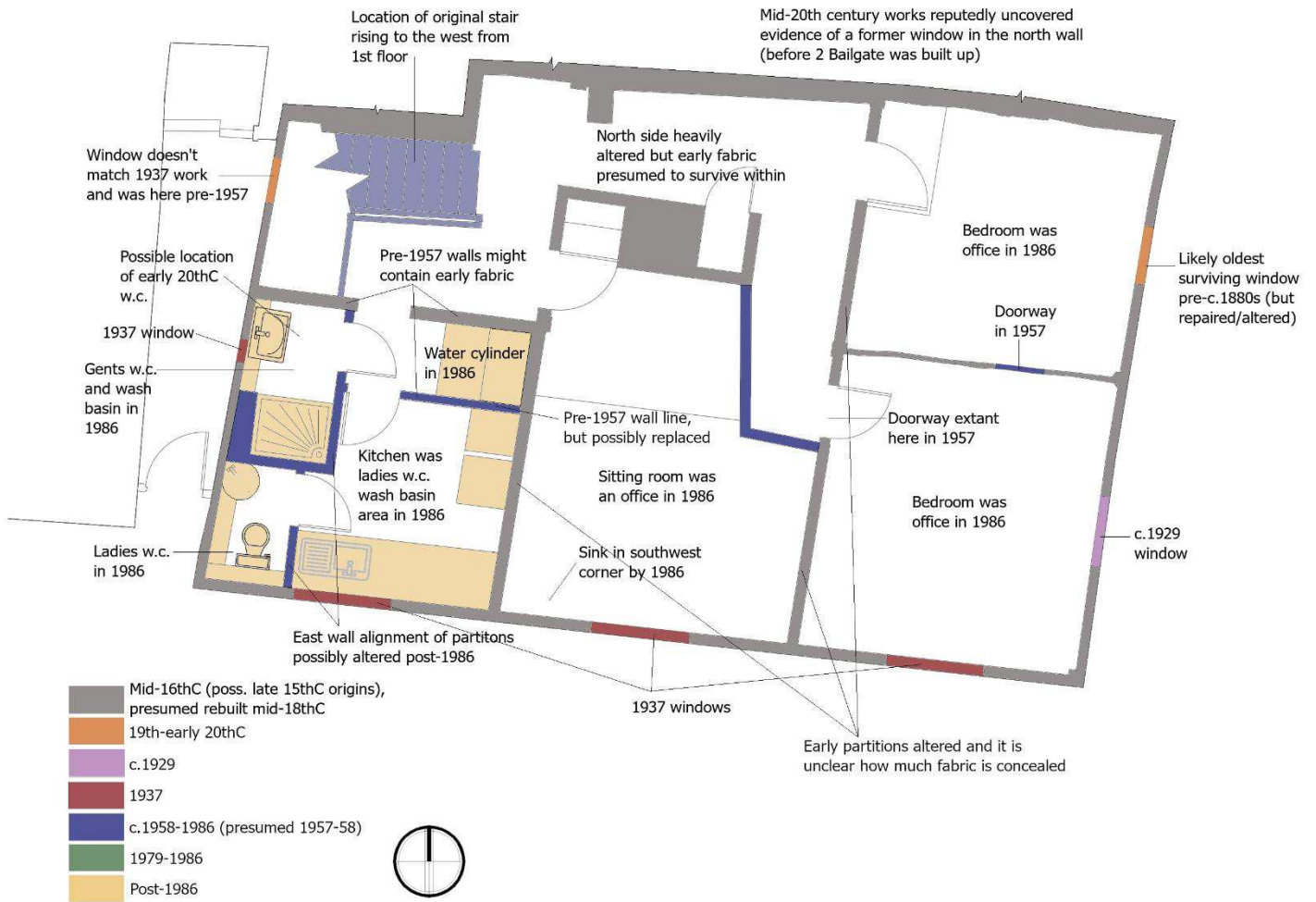


Figure 42 Summary historical development plan for the second floor level. Please read in conjunction with the historical development analysis. Not to scale, approximate only. Where a detail is in question, it should be checked on site and care should be taken during future works in case early fabric is concealed. If further historical information becomes available in the future, then this plan should be updated accordingly.

2.3 Leigh-Pemberton House in February & March 2024

The following photographs aim to illustrate the current layout, condition, and context of Leigh-Pemberton House at the time of inspection on 28th February 2024 and briefly again on 27th March 2024.

Exterior & Setting



Figure 43 Looking northwest with the castle to the far left of the image, the Judges' Lodgings left of centre, 6-7 Castle Hill right of centre and Leigh-Pemberton House to the right of the images all fronting Castle Hill (L), and the south elevation of Leigh-Pemberton House (R).



Figure 44 Looking northwest to Leigh-Pemberton House on the northwest corner of the junction between Castle Hill and Bailgate (L) and the east elevation fronting Bailgate (R).



Figure 45 Details of the south elevation including the commemorative bronze plaque in the location of a former doorway (relocated to the west side 1957-58).

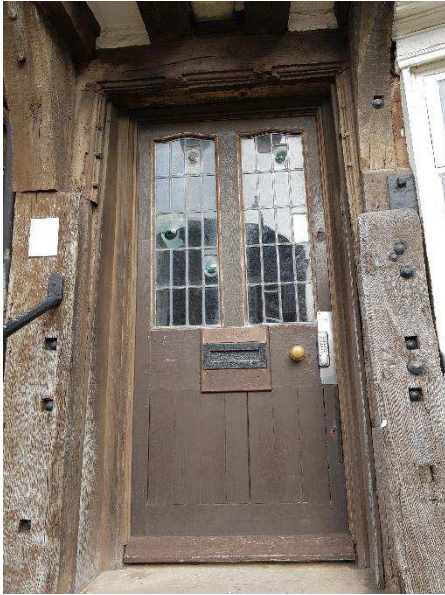


Figure 46 Detail of front door to upper flat on west side of south elevation (L) and detail of original carved timber bracket at the corner of the building(R).

Interior – Basement

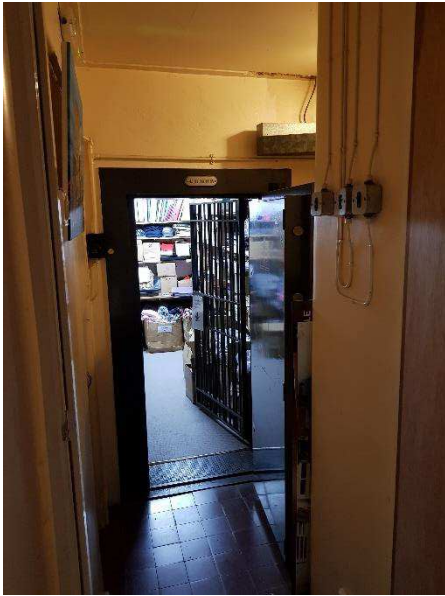


Figure 47 Looking east towards the 20th century walk-in bank safe from the bottom of the stair from ground floor (L) and looking north along the east side of the safe (R).



Figure 48 Looking west along the south side of the safe with a blocked external stair opening within a wall cupboard to the left of the image (L) and looking north in front of the safe at the bottom of the stair from ground floor (R).



Figure 49 Looking east up the stair towards the ground floor level to the left of the image and down to the safe to the right of the image (L) and looking west down the mid-20th century stair from ground floor to basement level (R).

Interior – Ground Floor

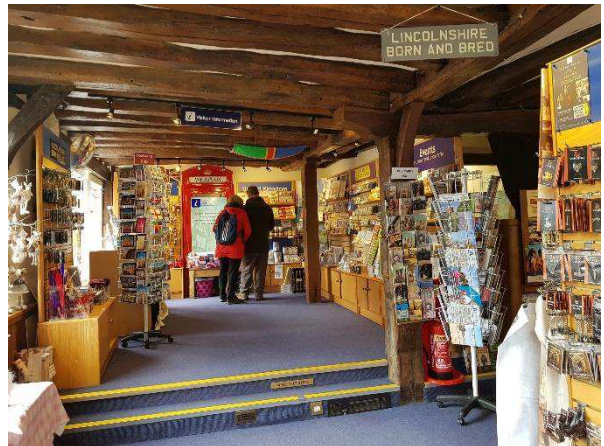


Figure 50 Looking east across the east side of the ground floor visitor centre space (L) and looking west into the west side of the ground floor (R).



Figure 51 Looking northwest (L) and southeast (R) to the ceiling framing of the east side of the ground floor including diagonal dragon beam.



Figure 52 Looking south (L) and north (R) within the later 20th century corridor along the west side of the property with the stair to the first floor at the end of the corridor.

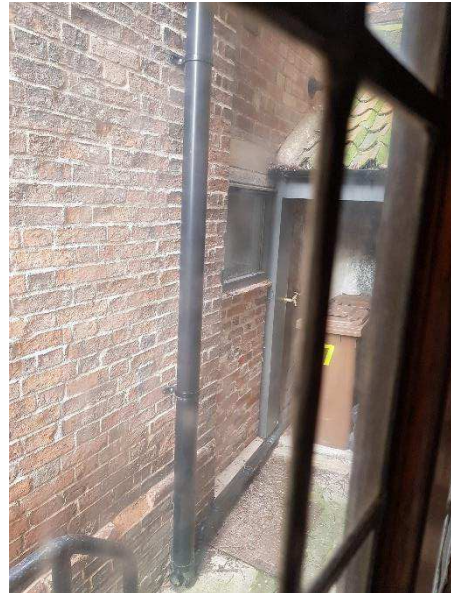


Figure 53 Views looking southwest (L) and northwest (R) from the corridor into the passage along the west side of the property.



Figure 54 Looking south to the ceiling timbers of the western corridor (L) and the modern access hatch in the north wall of the stair into the ground floor cupboard (R).



Figure 55 Looking north within the access hatch on the north side of the stair. Was there originally an external opening in this location, perhaps a former doorway when the north elevation was still exposed and/or window to the west side (left of the image?)

Interior – First Floor

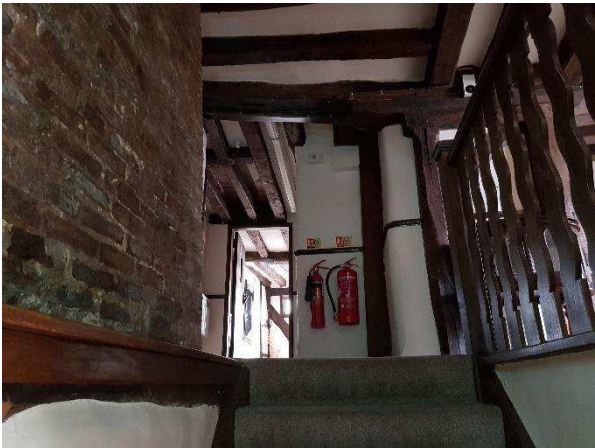


Figure 56 Looking east from the west stair up to first floor level (L) and down to the west from first floor level (R).



Figure 57 Looking northeast (L) and north (R) across the first floor landing.



Figure 58 Looking northeast (L) and southeast (R) in the southwest corner room.



Figure 59 Looking north (L) and west (R) within the southwest corner room.



Figure 60 Looking west along the south corridor (L) and west within the southeast corner room (R).



Figure 61 Looking northwest (L) and southwest (R) in the southeast corner room.



Figure 62 Looking east (L) and southeast (R) in the southeast corner room including corner dragon beam.



Figure 63 Looking east (L) and southeast (R) in the northeast corner room.



Figure 64 Looking south (L) and west (R) in the northeast corner room.



Figure 65 Detail of the small 20th century window to a possible former toilet in this corner(L) and 20th century casement windows (replaced a Yorkshire sliding sash window) (R) in the northeast corner room east wall.



Figure 66 Looking west in north corridor (L) and east across the first floor landing from the stair to the second floor (R).



Figure 67 Fireplace (above) within cupboard of central corridor with built-in seats (R) either side to form a fireplace nook. Later enclosed (c.1986?) as a cupboard.

Interior – Second Floor

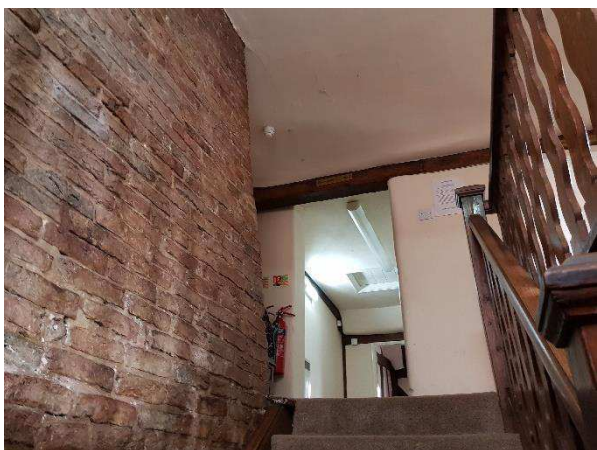


Figure 68 Looking east up to the second floor from the stair (L) and looking west across the second floor landing (R).



Figure 69 Looking southeast (L) and south (R) in the kitchen at the southwest corner (former wash basin area for the ladies toilet).



Figure 70 Toilet door in west wall of kitchen (L) and looking west into the toilet (R).



Figure 71 Looking east to the tea station outside the kitchen (location of water cylinder in 1986)(L) and southwest into the shower room opposite the tea station (former gents toilet) (R).



Figure 72 Looking north (L) and west (R) in the central sitting room.



Figure 73 Looking east (L) and south (R) in the central sitting room.

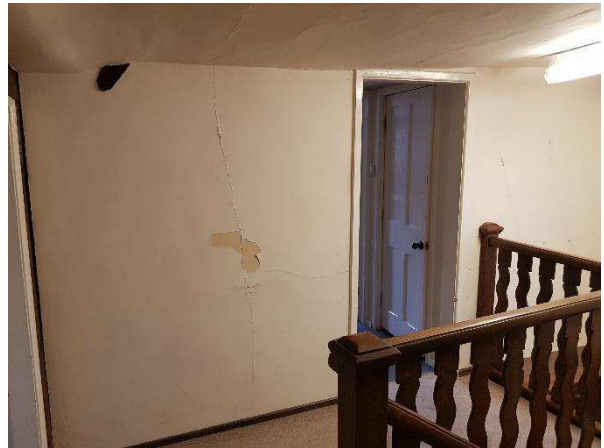


Figure 74 Looking northeast (L) and south (R) across the second floor stair landing.

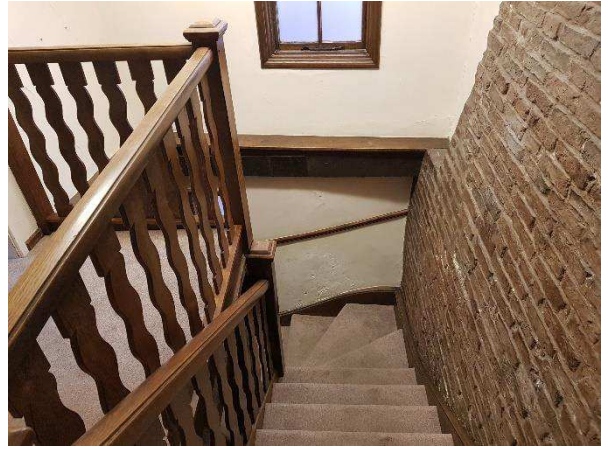


Figure 75 Looking north to the chimney breast across the landing (L) and west down the stair from the second floor landing (R).



Figure 76 Looking east along the north corridor (L) and south within the southeast corner room (R).



Figure 77 Looking east (L) and north (R) within the southeast corner room.



Figure 78 Looking north to the upper wall and ceiling (L) and west (R) within the southeast corner room.



Figure 79 Looking south (L) and north (R) within the western corridor formed c.1957-58.



Figure 80 Looking east (L) and west (R) within the northeast corner room.



Figure 81 Looking north within the northeast corner room.



Figure 82 Looking south within the northeast corner room.



Figure 83 Looking west (L) and east (R) within the north corridor.

3.0 Assessment of Significance & Heritage Impact Assessment

3.1 Introduction

Leigh-Pemberton House is Grade II* listed on the National Heritage List for England (NHLE). The site is also located within the *Cathedral & City Centre: City of Lincoln Conservation Area No. 1* as recognised by the City of Lincoln Council.

Due to the historic nature of the study area location, there are numerous listed buildings and scheduled ancient monuments in the immediate vicinity (including within the study area) that might be affected by future proposals within the site. Those considered to be in the immediate vicinity or within key view lines to the study area included:

1. The Judges' Lodgings (Grade II* listed). West of the study area.
2. No. 2 Bailgate (Grade II). Adjoins the north side of the study area.
3. The White Hart Hotel (Grade II listed), located to the northeast of the study area.
4. The Church of St Mary Magdalene (Grade II), located immediately to the east of the site on the opposite side of Bailgate.
5. Exchequergate (Grade I), southeast of the study area.
6. 2 Exchequergate (Grade II*), southeast of the study area.
7. Cathedral Church of St Mary and Cloisters and Chapter House and Libraries (Grade I), east of the study area.
8. Lindum Roman Colonia (scheduled ancient monument), throughout the city centre in surrounding area.
9. Lincoln Castle (Grade I and scheduled ancient monument), to the west of the site.
10. 15 Bailgate (Grade II), north of the study area.
11. 14 Bailgate (Grade II), north of the study area.
12. 12A Bailgate (Grade II), north of the study area.
13. 9 & 10 Bailgate (Grade II), north of the study area.
14. 8 Bailgate (Grade II), north of the study area.
15. 6 & 7 Bailgate (Grade II), north of the study area.
16. 5 Bailgate (Grade II), north of the study area.
17. 4 Bailgate (Grade II), north of the study area.
18. 3 Bailgate (Grade II*), north of the study area.
19. Leigh-Pemberton House (Grade II*) – the study area.
20. 6 & 7 Castle Hill (Grade II*), bordering the west side of the study area.
21. K6 Telephone Kiosk (Grade II), southwest of the study area.
22. Castle Hill Club (Grade II), southwest of the site.
23. 3 Castle Hill (Grade II), southwest of the site.
24. 1 Castle Hill (Grade II*), south of the study area on the opposite side of Castle Hill.
25. 36 Steep Hill (Grade II), south of the study area.

The above numbered list corresponds with the map below at Figure 84 and as previously discussed in Section 1.2.

The following assessment of significance examines Leigh-Pemberton House in detail and each of the heritage assets in the vicinity in summary prior to assessing the potential heritage impact of the proposals.

It is important as part of an assessment of significance to assess the site as a whole and not elements in isolation. This is to enable an overall appreciation of the importance of a place upon which an assessment of the potential positive or negative aspects of any future proposals can be made.

The following significance assessment is based upon heritage values recognised by Historic England in their *Statements of Heritage Significance: Analysing Significance in Heritage Assets – Historic England Advice Note 12* (2019). This *Advice Note* furthers principles previously established in their 2008 *Conservation Principles, Policies and Guidance*, that included evidential, historical, aesthetic, and communal significance values.

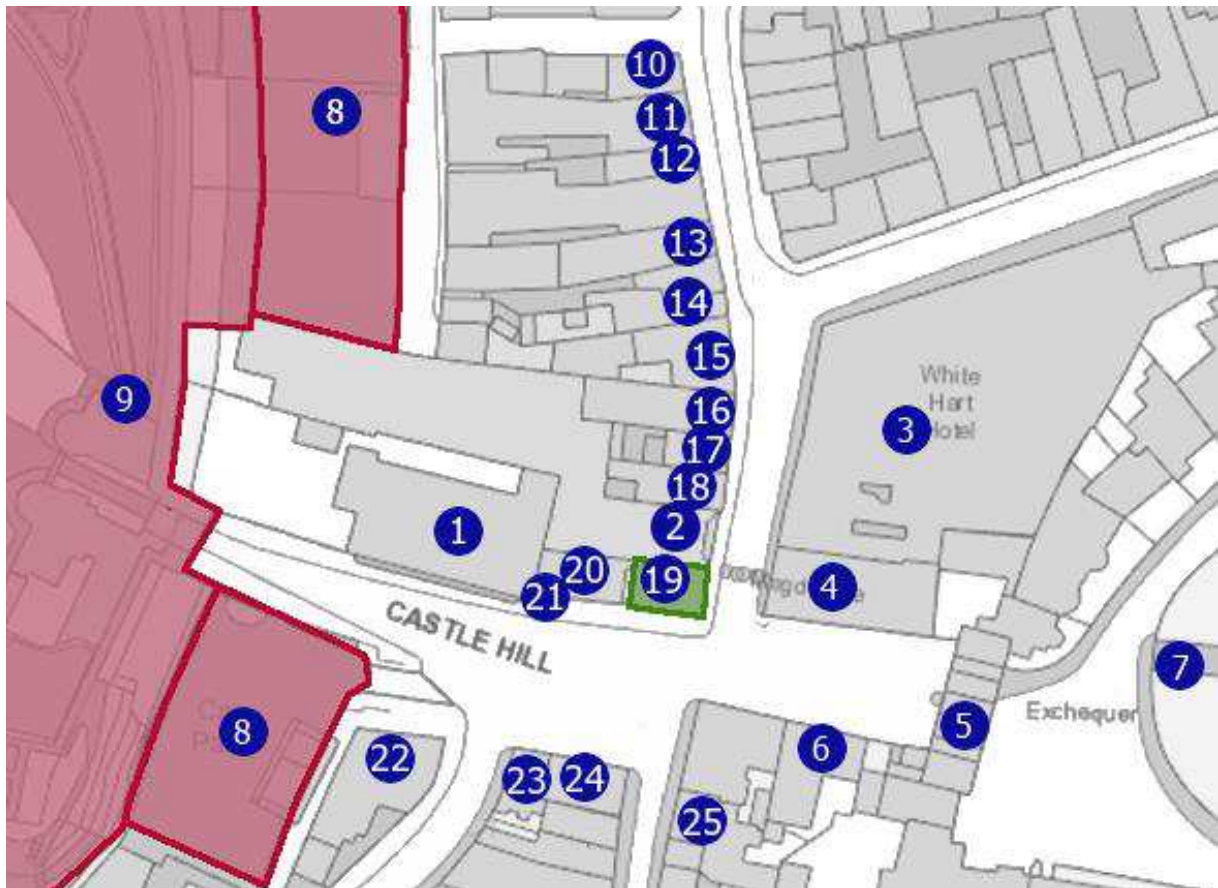


Figure 84 Plan showing heritage assets in the immediate vicinity of the study area that has been outlined and shaded green. Red shading represents scheduled ancient monuments, listed buildings are marked in blue. Please cross reference heritage assets with the numbered list at Section 3.1.

The following values have been established by the 2019 *Historic England Advice Note 12*:

1. Archaeological Interest

There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

2. Architectural and Artistic Interest

These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.

3. Historic Interest

An interest in past lives or events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

Following on from the assessment of significance, it is important that any proposals for the site are assessed with regard to the *National Planning Policy Framework (Revised December 2023)* (NPPF) requirements of *Section 16: Conserving and enhancing the historic environment*, particularly paragraphs 200-214 regarding the requirements to both assess the significance of any heritage assets potentially affected by development or alterations, and the consideration of potential harm of any proposals to those heritage assets. Assessments for Leigh-Pemberton House and surrounding heritage assets have been included in the following sections.

Please see existing and proposal drawings at Appendix II.

3.2 Assessment of Significance: Leigh-Pemberton House

3.2.1 Archaeological Interest

There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

Leigh-Pemberton house is Grade II* listed and is located within the historic core of uphill Lincoln in the immediate vicinity of Lincoln Cathedral and Lincoln Castle, as well as several other historic buildings and sites that are already recognised as having considerable archaeological significance as listed buildings and scheduled ancient monuments. It is wholly or partially within areas identified by the Lincolnshire Historic Environment Record as the location of a Roman building at the road junction, and within the Lincoln Roman Colonia (Lindum).

There is a basement level within the study area which extends to almost the full extent of the footprint of the building, and it forms a full level below ground level with a window in the south elevation below the bow window and vents in the east elevation in the location of what were presumably earlier windows (now infilled).

There have been extensive works carried out within the basement since the time of the 1957 drawn survey at Figure 26 (presumed during the 1957-58 period of work) and the 1986 survey plan at Figure 39 showed the level of change to the interior layout and fabric of the cellars/basement level. The extensive changes that have occurred to the lowest level included the installation of a large walk-in safe for use by the bank and the creation of toilet and storage facilities. Original external access stairs on the west and south sides were also removed and infilled and the current concrete stair access from the ground floor was installed. Concrete was used extensively throughout the basement.

Consequently, the basement/cellars today bear little resemblance to their original layout and form, which apart from the perimeter walls, has been lost due to the changes. However, due to the location of the building within the historic core of Lincoln, it is possible that further archaeological evidence for pre-15th century occupation and use might remain below the basement level and fabric might also be concealed behind modern wall finishes.

The upper floors of the building also have a significant amount of modern fabric lining out and later partitions and flooring fabric that will also undoubtedly conceal historic fabric such as timber framing.

As there are no current proposals for works to the basement or surrounding area, it is understood that a detailed archaeological assessment has not been carried out. However, given the archaeologically sensitive location of the study area within the historic core of uphill Lincoln, the site is likely to be considered of a high level of archaeological interest for its potential below ground and standing fabric that is believed to date from the 16th century and with possible 15th century origins that sits within the site of the Roman city.

No opening up was carried out during this assessment and any further evidence uncovered in the future might be of interest in further informing the historical development of the building and the local area. Care will need to be taken during any future works to the building to protect and record any evidence of interest that might be found, and discussions would need to be held with the local authority archaeologist as to any appropriate process and conditions.

3.2.2 Architectural and Artistic Interest

These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.

Eminent architectural historian, Nikolaus Pevsner identified '9 Castle Hill' as 16th century or earlier in his Lincolnshire volume of the *Buildings of England* series and he stated that the north side of Castle Hill had the 'best houses'.⁸⁷ Leigh-Pemberton House is one of those houses.

The building is the dominant feature of the junction between the south end of Bailgate and Castle Hill/Exchequergate. Architecturally, it retains its black and white distinctive timber-framed appearance over three jettied stories (plus a basement level), and despite significant restoration and repair work during several phases in the 20th century, including some changes to fenestration, it remains one of the most important architectural landmarks in Lincoln.

Leigh-Pemberton House forms the focal point of the views on final approach to Castle Hill looking north from the top of Steep Hill. It also is a key feature in views from the surrounding Castle Hill and Exchequergate area with the corner view of the building framing views both to the Castle looking west, and to the Exchequergate and Cathedral looking east from Castle Hill, Exchequergate and Steep Hill. It forms a bookend to the historic buildings on the west side of Bailgate and the building is also visible in views from the Castle walls in the direction of the Cathedral.

There have been several phases of work to the building primarily during its occupation as a bank facility. The 1937 work saw the complete repair and 'restoration' of the south elevation and the replacement of the majority of windows within the building. The following 1957-58 works saw internal layout changes largely to what is noted today, including relocation of the central doorway to the west end of the south elevation, and resulting internal layout reconfiguration. Further minor works were carried out to convert the building from offices to residential use on the upper floors. This has resulted in the loss of some historic fabric and internal layout and the expected concealment of others.

Despite significant alteration as previously discussed, it is still possible that early fabric and finishes survive behind later finishes, furnishings, and fixtures (and possibly still within the roof space that was not inspected as part of this report). Care should be taken during any future works that might uncover anything that could add to the historical record for the property.

Key to the character of the building is its prominent Castle Hill and Bailgate streetscape setting within which it is the dominant corner feature, and how the building is seen in all view lines from Castle Hill, Exchequergate, Steep Hill and Bailgate. The wider setting of the building also cumulatively includes the prominent landmarks of the Castle, Cathedral and the Exchequergate (as well as numerous other listed and unlisted traditional buildings that make up the historic streetscapes and conservation area).

Surviving original or early internal fabric and layout of the building is also key to the significance of the building, such as the timber framing of partitions where they survive and brickwork of chimney stacks.

Overall, Leigh-Pemberton House is important as a prominent example of 16th century (with possibly 15th century fabric) former tenements (and possible original merchant house) in the historic core of uphill Lincoln. The building also reflects the layout of the Castle Hill and southern Bailgate area prior to substantial early 19th century redevelopment of the north side of Castle Hill and the creation of a new approach to the east castle gate that resulted in the loss of many neighbouring buildings. The building overall (despite alterations and interventions particularly in the 20th century) makes an excellent contribution to the character of the conservation area and the historic core of uphill Lincoln as part of the wider Cathedral precinct. As a Grade II* listed building, it has been recognised on the National Heritage List for England as a building of more than special interest.

3.2.3 Historic Interest

An interest in past lives or events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

The study area is located near and likely on the site of considerably earlier development associated with the Roman and Medieval periods within the historic core of uphill Lincoln between Lincoln Castle and Lincoln Cathedral and on the alignment of a major historic thoroughfare through the centre of the city.

The building itself is thought to date from the 16th century (with possibly 15th century origins), rebuilt in the 18th century, and then heavily repaired, 'restored', and reconfigured during several phases in the 20th century.

Before becoming known as Leigh-Pemberton House in c.1979, it has been known variously as 'Marshall's House', 'Stephenson's House', 8, 8-9, 11 and 12 Castle Hill and 1 Bailgate. The numbering and naming changes reflect the changes of use within the building over the centuries. It was thought to originally have been a merchant's house and it comprised two separate tenements before they eventually merged to become one building during its long-term occupation as a bank in the 20th century. The building then passed to the Church, came into use as public tourist information centre with offices, then holiday let accommodation on the floors above replaced the office use.

The building also reflects the changes in needs for the occupants of the building, particularly during its use as a bank and the installation of features such as the basement vault and modern toilet accommodation within the building. It clearly demonstrates two distinct periods of 20th century alterations, including the 1937 works to repair the southern elevation (including the removal of render

and installation of the existing metal and crown glass windows), and the 1957-58 works to further develop the tenements for banking use with offices above.

Due to its location between the Castle and Cathedral, Leigh-Pemberton House has formed the backdrop to many historic events in Lincoln, but it has also had wider recognition as a backdrop within the film, *'The Wild and the Willing'* which was filmed in Lincoln in 1962 and featured prominent actors including John Hurt. It featured repeatedly as Castle Hill was a key location in the film. A further and more recent film role for the building included the filming of director Mike Leigh's *'Peterloo'* in 2018.

The building was in long term ownership and occupation of various families over the centuries, including the Dickinson, Carter, Harris, Wood, Luddington, Bell, Taylor, Stephenson, Moss, and Cottam families. The National Provincial Bank that eventually became the National Westminster Bank became the primary occupant, who then passed the building to the Church in 1979. Occupants varied in occupation but included long term associations with cabinet makers (Taylor), mercers (Luddington – textile dealer), chemist/druggists (Stephenson), braziers (Stephenson – brass and tinsplate workers), milliners and dressmakers (Stephenson), butchers (Stephenson), tailors (Moss) and a French polisher and antiques dealer (Cottam). The building was in long-term banking or bank office use from c.1911 until 1979, before going into partial public service as a visitor information centre.

Leigh-Pemberton House is of exceptional interest in demonstrating the survival of a 16th (and possibly earlier) tenement building in the centre of Lincoln following the early-19th century changes to the medieval street alignment and configuration of neighbouring buildings, particularly between the study area and the Castle's east gate.

3.3 Heritage Impact Assessment – Proposed Works

Please see existing and proposal drawings at Appendix II.

<i>Proposed Works</i>	<i>Discussion</i>
<i>Basement/ Cellars</i>	<p>There are no expected changes to the basement level as part of proposed works as it will remain in use by the visitor centre, therefore there are no expected heritage impacts to this level.</p> <p>If works are proposed in the future, care would need to be taken and advice sought from the local authority archaeologist to determine if further investigation would be needed.</p>
<i>Ground Floor</i>	<p>There are no expected changes to the ground floor level as part of proposed works, as most of the level will remain in occupation and use as the visitor centre.</p> <p>The western corridor will continue to be used to access the upper floors of the building, but there are no expected changes to the corridor or its fittings outwith redecoration of the existing.</p> <p>Therefore, there are no expected heritage impacts to this level.</p>
<i>First Floor</i>	<p>Proposals for the first floor include:</p> <ul style="list-style-type: none"> • Removal of mid-20th century partitions on the central south side including corridor cupboard, small cupboard on the north wall, and small area of modern door and partition at the northwest corner of the northeast corner room (location of original stair access, now gone). • Insertion of new partitions to create an ensuite shower room for the southwest corner bedroom and ensuite bathroom for the southeast corner bedroom. • Form new partitions to create an access corridor past the fireplace in the current central cupboard and ensuite shower room for the northeast corner bedroom. • Insertion of two small external extractor vents to the ensuites on the south elevation and one in the east elevation. <p>The removal of mid-20th century partitions is expected to have little to no impact on original or early fabric. However, care will still need to be taken to look for any concealed older fabric during works.</p> <p>The current layout is believed to have been configured with new partitions in the mid-19th century for banking offices. It is not consistent with the pre-1957 presumed</p>

	<p>tenement layout, therefore its reconfiguration for the proposed works would not adversely affect any early surviving layout and would only create a new layout that is similar to the existing but with ensuites added.</p> <p>Details of the proposed small external extractor vents were not available at the time of writing, but as their locations would be in prominent elevations, they would need to be as small as possible, flush, and discreet in detailing to avoid detracting from the overall historic character appearance of the south and east elevations.</p> <p>To minimise the impact of services for the ensuites and disturbance of any historic fabric, they are to rise to the second floor level and be routed through existing raised timber floors.</p>
<i>Second Floor</i>	<p>It is proposed to:</p> <ul style="list-style-type: none"> • Reconfigure the existing late 20th century (post-1986) kitchen at the southwest corner to create a new ensuite bathroom and this will see the removal of the existing partitions for the current kitchen, toilet, and shower room. • The overall layout of the rest of the level will otherwise be retained. • A new raised timber floor is to be installed in the southwest corner proposed bathroom and the existing raised timber floor in the current central sitting room is to be extended north to allow for the routing of services. • A new partition is to be formed at the top of the stair south landing to link bathroom and bedroom. • A small section of new partition and door is to be inserted on the north side to separate access to the proposed suite on the east side of the building. • The northeast corner room is to be converted to use as a bathroom for the southeast corner bedroom. <p>There will be a very small section of pre-1957 partition removed at the northeast corner of the proposed southwest corner bathroom for the reconfiguration. It is not expected to see the removal of original tenement fabric, however, care will still need to be taken to look for any concealed older fabric during works.</p> <p>To minimise the impact of services for the ensuites and disturbance of any historic fabric, they are to be routed through existing and proposed raised floors.</p> <p>The new partition enclosing the south side of the stair landing will link the bedroom and bathroom in an already-altered stairwell and avoid the need to alter existing and possibly very early wall fabric for a doorway. The overall existing layout of the second floor is generally to be retained, with negligible expected impact expected on any other fabric. Again, there would be no expected adverse effects on historic fabric, but care will still need to be taken to look for any concealed older fabric during works.</p>
<i>Exterior</i>	<p>It is proposed to carry out general repairs in a like-for-like manner during works to prevent any adverse impact to existing fabric, ensure survival of historic fabric, and to enhance the appearance of the listed building within the setting of the conservation area.</p> <p>The only other minor external changes proposed are:</p> <ul style="list-style-type: none"> • the insertion of two small bathroom extractor vents in the east elevation, • two small vents in the south elevation, • the replacement of an existing small vent in the west elevation, • the blocking of an existing small vent in the west elevation. <p>The location of the eastern and southern proposed vents were selected to minimise the need for intrusive ductwork within the interior and to prevent any adverse impacts to the original internal timber framing.</p> <p>As part of the conversion of the former offices to habitable use beyond the basic provision of the previous holiday let (which was insufficient for the number of rooms in the accommodation), new bathrooms are essential. In order to enable efficient removal of moisture from the historic building that will likely be produced by the new bathrooms,</p>

	<p>the external vents will be vital to the prevention of future deterioration of the building fabric as per conservation best practice in appropriately ventilating historic buildings.</p> <p>The west elevation vent would replace an existing vent with a more sympathetic traditional vent and it would not generally be visible from the street. The infill of the other existing vent would see the infill of a modern insertion. Both the replacement vent and the infill of an existing further vent would have negligible visual or physical impact on the building and its setting.</p> <p>The southern and eastern elevation vents at first and second floor levels might be noticeable, but the vents are proposed to comprise a traditional cast iron vent cover. Proposed vents will be kept small as possible and discreet in detailing to avoid detracting from the overall historic character appearance of the south and east elevations.</p>
<i>Use</i>	<p>In the 19th century, the overall building was in combined residential and commercial use as a pair of tenements before becoming a bank in the early 20th century, then offices and a visitor centre in the last quarter of the 20th century, followed by the conversion of the upper floor offices to a holiday let in recent years.</p> <p>The current proposals aim to continue the building's most recent use for holiday accommodation on the first and second floors.</p>

3.4 Heritage Assets in the Vicinity

Proposed works to the exterior of the building are to be limited to a few discreet bathroom vents and the repair and restoration of the exterior fabric as required. This is expected to have a minimal impact on the appearance of the listed building and its wider setting of the conservation area. It is also expected to have a negligible impact on the character, setting and appreciation of any nearby heritage assets.

Internal works will not be visible from any neighbouring heritage assets and will therefore not adversely affect their character or settings in any way.

3.4.1 The White Hart Hotel

Description & Significance

Marked as item 3 on the map at Figure 84, the Grade II listed White Hart Hotel is to the northeast of the site on the opposite side of Bailgate. It has key elevations facing Bailgate and Eastgate, with the front entrance on Bailgate.

A recent *Assessment of Significance* for the hotel concluded that the building was begun in the early 18th century, having previously contained a mansion house believed to have been on the site of a medieval inn. Phases of work to the building were numerous, with key stages noted in 1844 when the hotel was rebuilt, c.1900 with an extension to the south, c.1949 with an extension to the northeast fronting Eastgate, the 1961-61 addition to the southern end in the location of the former parsonage house, and finally post 1974-75 infill development on the east side. Some windows at the southern end face the direction of the east side of the study area from the Bailgate side.

The building makes a significant contribution to the historic character of the south end of Bailgate and west end of Eastgate. It is a dominant feature in the streetscape as a large, single hotel comprising several different parts and it is also a key feature and contributor to the appreciation of the historical evolution and character of the conservation area. It is important overall as building of special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the White Hart Hotel.

The primary west elevation of the building faces west and may have some peripheral views towards the east elevation of Leigh-Pemberton House to the southwest. The White Hart is also within the Bailgate setting of the study area.

Any intervisibility is expected to be minimal and the two proposed, small vent installations on the east elevation are expected to have negligible impact on any views or the setting of the White Hart Hotel. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Bailgate setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.2 The Church of St Mary Magdalene

Description & Significance

Marked as item 4 on the map at Figure 84, the Grade II listed Church of St Mary Magdalene is directly opposite the east elevation of Leigh-Pemberton House.

It is described in the listed building entry as dating from the late 13th century and rebuilt in 1689, being later remodelled by architect G F Bodley in 1882. Its main entrance faces west to Bailgate (and the garage entrance), and the southern side forms the north side of the Exchequergate square. The building has a square tower at the west end and is constructed of dressed stone with a slate roof.

The building makes a significant contribution to the historic character of the junction of Bailgate and Exchequergate square/Castle Hill and it forms the end of Bailgate, terminating the building line of the White Hart Hotel along the east side. It is also a key feature and contributor to the appreciation of the historical evolution and character of the conservation area, and it is important overall as building of special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the Church of St Mary Magdalene.

The primary south elevation of the church faces away from the direction of the study area, but the primary west elevation and entrance to the church faces the study area. There is clear intervisibility between the two sites from the front entrance of the church.

The two small, proposed vent installations on the east elevation are expected to have negligible impact on any views from or the setting of the church. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Bailgate setting and the conservation area overall.

The internal works would have no impact on the character or setting of the church as they are internal to Leigh-Pemberton House and not visible.



Figure 85 Looking northeast to the church as a bookend to the building line of the White Hart Hotel.⁸⁸

3.4.3 Exchequergate

Description & Significance

Marked as item 5 on the map at Figure 84, the Grade I listed Exchequergate is located to the southeast of the study area on the east side of the Castle Hill/Exchequergate square area.

It is described in the listed building entry as dating from the mid-14th century and restored in the 19th century (and again in c.2020). It is three storeys in height, five bays wide and constructed of ashlar stone.

The building is a prominent architectural landmark, and it therefore makes a significant contribution to the historic character of the square next to the Exchequergate and forms a key part of the setting of the Cathedral. It is also a key feature and contributor to the appreciation of the historical evolution and character of the conservation area since the 14th century, and it is important overall as building of exceptional interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the Exchequergate building.

Windows of the heritage asset face west in the direction of the study area and there is some intervisibility between the two sites, including both the south and east elevations of Leigh-Pemberton House.

The two small, proposed vent installations on the east elevation and two on the south elevation are expected to have negligible impact on any views from or the setting of the Exchequergate building due to distance in views and their discreet nature. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Exchequergate/Castle Hill setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.4 2 Exchequergate

Description & Significance

Marked as item 6 on the map at Figure 84, the Grade II* listed property at 2 Exchequergate is located to the southeast of the study area on the south side of Castle Hill.

It is described in the listed building entry as a house (now shop and offices) that incorporates a 15th century timber framed partition and stone south wall. It was rebuilt in 1834-48 and constructed of brick and coursed rubble with a stucco front. Three storeys in height with a slate roof, it is a prominent building fronting the square.

The building makes a good contribution to the historic character of the square next to the Exchequergate and it is also a key feature and contributor to the appreciation of the historical evolution and character of the conservation area since the 15th century. It is important overall as building of more than special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on 2 Exchequergate.

Windows of the primary elevation face north and away from the direction of study area, but there might be some peripheral views towards the corner elevation of Leigh-Pemberton House.

The two small, proposed vent installations on the east elevation and two on the south elevation are expected to have negligible impact on any views from or the setting of 2 Exchequergate due to distance in any partial views and their discreet nature. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Exchequergate/Castle Hill setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.5 Cathedral Church of St Mary, Cloisters, Chapter House, and Libraries

Description & Significance

Marked as item 7 on the map at Figure 84, the Grade I listed Lincoln Cathedral Church of St Mary is located to the east of the study area on the east side of Minster Yard with the Exchequergate, Church of St Mary Magdalene and other building between.

It is described in the listed building entry as the Cathedral church with attached cloisters, chapter house and libraries. It was established in c.1072-1092; restored and extended following a fire in 1123-1148; remodelled c.1180-1200 and the transepts extended and completed c.1230-1235. The crossing tower was rebuilt c.1240 and heightened 1307-1311 and the Angel Choir added 1256-1280.

The cloisters date from c.1290-1300 and the chapter house is 13th century. The Song School is early 13th century, and the Galilee porch is mid-13th century. The Cantelupe Chantry was built 1355; the Fleming chantry in 1431; the Russell chantry in 1494; and the Langland chantry c.1547. The Old Library was built c.1422 and the Honywood Library, north of the cloister was built in 1674, by Sir Christopher Wren. Rooms under the west towers were built c.1730 by James Gibbs. The Dean Wickham Library was constructed 1909-1914 by Hodgson Fowler. Major periods of restorations include those by James Gibbs in 1725, James Essex in 1761, J C Buckler in the mid-19th century, J L Pearson in 1870-1893, and Sir Charles Nicholson and Sir Francis Fox in 1921. The spires were removed from the towers in 1807.

The west front of the Cathedral is the most prominent side facing the direction of the study area and it is partially visible from the upper windows of Leigh-Pemberton House. The study area also forms part

of views looking east from the Castle walls in the direction of the Cathedral looking across Castle Hill (see Figure 86).

The building is the heart of the historic character of the Cathedral Quarter in uphill Lincoln (and the city overall) as the tallest and most prominent landmark in Lincoln. It is the most prominent and important element in the Lincoln skyline as viewed from the surrounding area with the tower noted in views from miles outside the city boundaries. As a Grade I listed building, it is important overall as building of exceptional interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the Cathedral.

Intervisibility between the study area from the Cathedral is limited by the location of other buildings positioned between the two sites, but some views have been noted from the Cathedral grounds/Minster Yard through the arches of the Exchequergate building.

The two small, proposed vent installations on the east elevation are expected to have negligible impact on any views from or the setting of the Cathedral due to distance in any partial views and their discreet nature. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.



Figure 86 Looking east to the Cathedral from the castle walls.

3.4.6 Lincoln Roman Colonia (Lindum)

Description & Significance

Lincoln Roman Colonia is the scheduled ancient monument that incorporates numerous sites throughout Lincoln reflecting the Roman occupation of the city. The study area is within the Lincoln Roman Colonia (Lindum) site recognised as a wider area in the Historic Environment Record (HER). The areas identified as part of the scheduled ancient monument have been annotated as item 8 on the heritage asset map at Figure 84.

The HER listing indicated that the Roman legionary fortress at Lincoln covered an area of 41.5 acres and the military occupation lasted from c.47-48AD to c.71-77AD. Timber defences served the subsequent Colonia for about a century until the stone wall was built, almost certainly by Severus. The area enclosed by the wall is exactly that of the fortress.

The HER entry also states that the Roman Colonia area is defined by existing fragments of the boundary walls and fosse and that excavations in various locations have revealed evidence of Roman occupation down to nine feet in depth.

As a scheduled ancient monument dating to some of the earliest occupation and historical development of Lincoln, the areas defined as Lincoln Roman Colonia (Lindum), as well as the later Lincoln Castle are adjacent to the study area. Evidence reflecting this period is of national importance and crucial to the historical knowledge of the city.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the heritage asset as there will be no below ground works or works within the existing basement/cellars area.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.7 Lincoln Castle

Description & Significance

Marked as item 9 on the map at Figure 84, the Grade I listed and scheduled ancient monument of Lincoln Castle is located to the west of the study area on the west side of Castle Hill.

It is described in the listed building entry as a castle dating from 1068 and built for William I and with work completed in the 12th, 13th, 14th, and 19th centuries. It was restored in the 20th century with work carried out in recent years. The castle is a large complex on the west side of uphill Lincoln, and it comprises a quadrangular curtain wall of coursed and squared stone and herringbone rubble, with ashlar dressings and slate roofs. Key elements include the curtain wall, east gateway, and lodges, the keep of Lucy Tower, the west gate, and Cobb Hall at the northeast corner.

The east side of the Castle directly faces Castle Hill and the south elevation of Leigh-Pemberton House is visible from the Castle wall walk helping to frame the north side of the Castle Hill view line looking towards the Cathedral (see Figure 86).

With the Cathedral, the Castle is part of the heart of the historic character of uphill Lincoln (and the city overall) as a prominent landmark in Lincoln. It is a key element in the Lincoln skyline as viewed from the surrounding area, particularly in views from the south and west as it rises up on the hill. As a Grade I listed building, it is important overall as building of exceptional interest and as a scheduled ancient monument it is of national importance.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the Castle.

The south elevation of the study area is visible at an angle from the Castle walls, but it is partially blocked by the large Judges' Lodgings building between.

The two small, proposed vent installations on the south elevation are expected to have negligible impact on any views from or the east side Castle Hill setting of the Castle due to distance, steep angle of views, and their discreet nature. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Exchequergate/Castle Hill setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.8 8, 9 & 10, 12A, 14 and 15 Bailgate

Description & Significance

Marked as items 10-14 on the map at Figure 84, are a small group of Grade II listed properties located to the north of the study area on the west side of Bailgate.

8 Bailgate is Grade II listed, and its listed building report describes it as a house and now a house and shop (The Little Red Gallery). Constructed in the early 19th century, it is four storeys in height and only one bay wide built in brick with a plain tiled hipped roof.

9 & 10 Bailgate is described in the listed building report as a house, now house and two shops. Constructed in the late 17th century and mid-18th century, it has late 19th and mid-20th century shopfronts. Comprises of timber framing and brick with a plain tile roof. Two storeys in height plus attics.

12A Bailgate is described in the listed building report as originally a house, now a house and shop built in the late 18th century with a late 19th century shopfront. Constructed over three storeys in brick with a plain tile roof behind a parapet.

14 Bailgate is described in the listed building report as a former house, and now house and restaurant. Constructed in the early 18th century, it was refronted mid-19th century and has 20th century alterations.

Possibly originally timber framed, it has a brick and stucco front and is two storeys plus attics with a slate roof.

15 Bailgate is described in the listed building report as a former house, now a shop that was previously known as Regent House. It dates from the 17th century and was altered late 18th century and refronted in the early 20th century. Constructed in brick and possibly originally timber framed, it is two storeys plus attics with a pantile roof.

All of the buildings have primary elevations with windows looking east and away from the direction of Leigh-Pemberton House. There was no noted intervisibility between the heritage assets and the study area due to buildings located between.

The buildings make a significant contribution to the historic character of Bailgate. They are key features and contributors to the appreciation of the historical evolution and character of the conservation area since at least the 17th and 18th centuries with several phases of alteration reflecting the changes that have also occurred throughout the conservation area. As Grade II listed buildings, they are important overall as buildings of special interest.



Figure 87 9 & 10 Bailgate (above), 12A Bailgate to the right, 14 Bailgate (below), and 15 Bailgate (below right).⁸⁹



Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the heritage assets.

The external minor works, and internal works would have no impact on the character or setting of the heritage assets as they are out of view or internal to Leigh-Pemberton House and not visible.

3.4.9 2, 3, 4, 5, and 6 & 7 Bailgate

Description & Significance

Marked as items 2 and 15-18 on the map at Figure 84 are a small group of Grade II and one Grade II* listed properties located to the north of the study along the west side of Bailgate.

2 Bailgate is Grade II listed and its listed building report describes it as a house and now dwelling and former garage entrance for the White Hart Garage. Constructed in the mid-18th century and altered mid-20th century (drawings of the garage indicate c.1935 altered for garage entrance⁹⁰). Three storeys in height across three bays. 2 Bailgate is attached to and forms the northern boundary of Leigh-Pemberton House.

3 Bailgate is Grade II* listed and most recently an ice cream shop, its listed building report describes it as a former house built in the early-mid 18th century and incorporating an early 13th century vaulted cellar, with a late 19th century shopfront. Two storeys plus attics in height and one bay wide.

4 Bailgate is Grade II listed, and its listed building report describes it as a house, now house and shop (Lindum Books). Built in the early 18th century and refronted late 18th century. Constructed of brick with pantiled roof it is two storeys in height plus attic and only a single bay wide.

5 Bailgate is Grade II listed, and its listed building report describes it as formerly a house and now house and shop (restaurant). Dating from the mid-18th century and refronted in 1902, the building is built of painted brick and is two storeys plus attic (appears as three storeys in the streetscape) in height.

6 & 7 Bailgate is Grade II listed, and its listed building report describes it as formerly two houses, now two houses and a shop (pharmacy). Constructed in the early 18th century and early 19th century with late 19th century shopfront. It is three storeys in height and constructed in brick with a plain tile roof.

All of the buildings have primary elevations with windows looking east and away from the direction of the study area.

The buildings make a significant contribution to the historic character of Bailgate. They are key features and contributors to the appreciation of the historical evolution and character of the conservation area since at least the 18th century (with one building still containing cellar fabric from the 13th century) with several phases of alteration reflecting the changes that have also occurred throughout the conservation area. The Grade II listed buildings are important overall as buildings of special interest and the Grade II* listed building is of more than special interest.



Figure 88 2-8 Bailgate.⁹¹

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no expected physical impact on the heritage assets (including the attached 2 Bailgate on the north side).

Windows of the assets face east and away from Leigh-Pemberton House and there was no noted intervisibility between them and the study area, though they do form part of the Bailgate setting of the study area and vice versa.

The two small, proposed vent installations on the east elevation are expected to have negligible impact on the setting of the heritage assets or the historic streetscape due to their expected size and discreet nature. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Bailgate setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.10 Judges' Lodgings and Attached Railings

Description & Significance

Marked as item 1 on the map at Figure 84, the Grade II* listed property known as the Judges' Lodgings is located on the north side of Castle Hill and is west of Leigh-Pemberton House.

It is described in the listed building entry as a purpose-built Judges' lodging built in c.1810 by William Hayward. It is two storeys in height and nine bays wide, built in yellow stock brick with stone dressings and hipped slate roof. There is a large mid-20th century extension to the rear of the building.

In a prominent location on the north side of Castle Hill, it is a landmark building in the streetscape with its wide and distinctive frontage. It makes a significant contribution to the historic character of the street and the setting of Castle Hill as it is one of a group of buildings that enclose the north side of Castle Hill (including the study area), and it is the first building immediately east of the eastern gate to Lincoln Castle. It is a key feature and contributor to the appreciation of the historical evolution and character of the conservation area since the early 19th century and it is important overall as building of more than special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the heritage asset.

The primary south elevation faces away from the direction of the study area to the south and there is no direct intervisibility between the Judges' Lodgings and the study area due to the position of 6-7 Castle Hill between them.



Figure 89 South elevation of the Judges Lodgings on Castle Hill.⁹²

The two small, proposed vent installations on the south elevation are not expected to be visible from the heritage asset and they would have negligible impact on the setting of the Judges' Lodgings due to

their expected discreet nature and detailing. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Castle Hill setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.11 6 & 7 Castle Hill

Description & Significance

Marked as item 20 on the map at Figure 84, the Grade II* listed property of 6 & 7 Castle Hill is located to immediately west and adjacent to Leigh Pemberton House and there is a narrow passageway between the two sites that forms the western boundary of the study area.

It is described in the listed building entry as two houses that had become offices, but today they have been converted back to two separate dwellings. The houses date from the early 18th century and are built in brick with stone dressings and plain tile roof. Three storeys in height plus attics and five bays wide.

It has one key elevation fronting Castle Hill and is in a prominent location, making a significant contribution to the historic character of the street and the setting of Castle Hill as it is one of a group of buildings that enclose the north side of Castle Hill east of the entrance to Lincoln Castle, including Leigh-Pemberton House. It is a key feature and contributor to the appreciation of the historical evolution and character of the conservation area since the 18th century and it is important overall as building of more than special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the heritage asset.

Windows of the primary elevation face south and away from the direction of study area with no intervisibility, but the building forms part of the Castle Hill setting of Leigh-Pemberton House and vice versa.

The two small, proposed vents installation on the south elevation and single vent in the west elevation are expected to have negligible impact on the setting of 6-7 Castle Hill due to lack of intervisibility of the set-back and largely concealed west elevation (it is also a more sympathetic replacement of an existing vent), and the expected discreet nature and detailing of the vents themselves. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Castle Hill setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

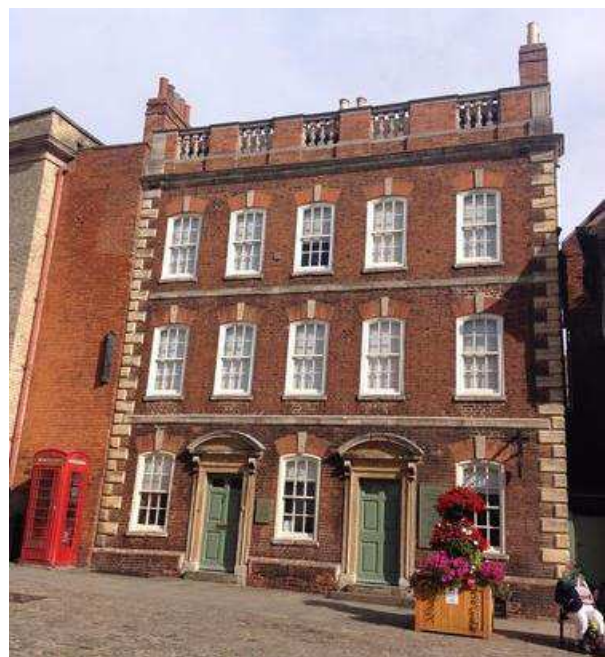


Figure 90 6 & 7 Castle Hill south elevation.⁹³

3.4.12 K6 Telephone Kiosk

Description & Significance

Marked as item 21 on the map at Figure 84, the Grade II listed feature is a Type K6 telephone kiosk located on the north side of Castle Hill between the Judges Lodgings and 6 & 7 Castle Hill. It is to the southwest of Leigh-Pemberton House.

It is described in the listed building entry as a type K6 telephone kiosk designed in 1935 by Sir Giles Gilbert Scott and made of cast iron. It is a square kiosk with a domed roof.

It is in a prominent location, and it makes a good contribution to the historic character of the street and the setting of Castle Hill, east of the eastern gateway to Lincoln Castle.

It is a surviving feature of distinctive 20th century street furniture design, and it contributes to the appreciation of the historical evolution and character of the conservation area. It is important overall as structure of special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the heritage asset.

There is limited intervisibility between Leigh-Pemberton House and the asset along the frontage of Castle Hill and the asset forms part of the immediate streetscape setting of the study area.

The two small, proposed vent installations on the south elevation are expected to have negligible impact on any views from or the setting of the heritage asset due to their expected discreet nature and detailing. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Castle Hill setting and the conservation area overall.



Figure 91 Telephone kiosk on Castle Hill.⁹⁴

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.13 1 and 3 Castle Hill, and the Castle Hill Club

Description & Significance

Marked as items 22-24 on the map at Figure 84, they are a small group comprising Grade II* and Grade II listed buildings located to the south and southwest of the study area forming the south side of Castle Hill.

Located on the corner of Castle Hill And the top of Steep Hill, 1 Castle Hill is Grade II* listed and its listed building report describes it as a house and now offices, but today it comprises a café at ground floor level. Constructed in the mid-18th century and converted mid and late 20th century, the building is of brick and is three storeys in height plus attics and three bays wide.

3 Castle Hill is Grade II listed, and its listed building report describes it as a house, then house and shop, but today it is in use as a restaurant. Constructed in brick in the early 19th century with mid-19th century additions, the building is three storeys in height and is on the corner of Castle Hill and the top of Drury Lane.

The Castle Hill Club is Grade II listed, and its listed building report describes it as a house and now a club. Built in the mid-18th century with 19th century alterations in brick with a gabled pantile roof, it is located on the western corner of the junction between Drury Lane and Castle Hill.

The buildings make a significant contribution to the historic character of Castle Hill and there has been loss of further historic buildings in the 20th century immediately to the west of the Castle Hill Club that used to frame the south side of the approach to the Castle's east gate. They are key features and contributors to the appreciation of the historical evolution and character of the conservation area since at least the 18th century, with several phases of alteration reflecting the changes that have also occurred in Castle Hill and throughout the conservation area. The Grade II listed buildings are important overall as buildings of special interest and the Grade II* listed building is of more than special interest.

Heritage Impact Assessment

Proposals for Leigh-Pemberton House would have no physical impact on the heritage assets.

All the buildings have primary elevations with windows looking north and there will be some intervisibility between them and the south elevation of Leigh-Pemberton House.

The two small, proposed vent installations on the south elevation might be visible, but they are expected to have negligible impact on any views from or the setting of the heritage assets due to distance in the views and their expected discreet nature and detailing. Repairs and restoration as part of the overall works would only serve to enhance the appearance of the building and benefit the character of the Castle Hill setting and the conservation area overall.

The internal works would have no impact on the character or setting of the heritage asset as they are internal to Leigh-Pemberton House and not visible.

3.4.14 36 Steep Hill

Description & Significance

Marked as item 25 on the map at Figure 84, it is a Grade II listed building on the east side of the top of Steep Hill and southeast of the study area.

Originally a house, it today contains a shopfront at ground floor level. Its listed building report states that it was constructed in the early 19th century with a later 19th century shopfront. It has a hipped roof and is constructed of whitewashed brick and is four storeys in height across two bays.

The building makes a good contribution to the historic character of the top of Steep Hill and eastern perimeter of Castle Hill. It contributes to the appreciation of the historical evolution and character of the conservation area since at least the early 19th century, with changes reflecting those that have occurred throughout the conservation area. The Grade II listed building is important overall as a building of special interest.

Heritage Impact Assessment

The proposed changes to Leigh-Pemberton House would have no physical impact on this heritage asset.

The main west elevation of the building has windows that face west and away from direct views to the study area's southern elevation.

It is thought unlikely that there would be any intervisibility between the heritage asset and Leigh-Pemberton House due to the direction of views from the building and the position of the Magna Carta hotel adjacent to the asset on the corner. If there were any partial views, the proposed insertion of vents would have a negligible effect on any views and repair and restoration would only have a positive effect on the appearance of the building within its wider setting.

4.0 Appendices

4.1 Appendix I – Listed Building Report

LEIGH-PEMBERTON HOUSE

Official list entry

Heritage Category: **Listed Building**

Grade: **II***

List Entry Number: **1388487**

Date first listed: **07-Oct-1953**

Date of most recent amendment: **20-Dec-1999**

List Entry Name: **LEIGH-PEMBERTON HOUSE**

Statutory Address 1: **LEIGH-PEMBERTON HOUSE, 8, CASTLE HILL**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

[Understanding list entries](https://historicengland.org.uk/listing/the-list/understanding-list-entries/) (<https://historicengland.org.uk/listing/the-list/understanding-list-entries/>)

[Corrections and minor amendments](https://historicengland.org.uk/listing/the-list/minor-amendments/) (<https://historicengland.org.uk/listing/the-list/minor-amendments/>)

Location

Statutory Address: **LEIGH-PEMBERTON HOUSE, 8, CASTLE HILL**

The building or site itself may lie within the boundary of more than one authority.

County: **Lincolnshire**

District: **Lincoln (District Authority)**

Parish: **Non Civil Parish**

National Grid Reference: **SK 97634 71824**

Details

LINCOLN

SK9771NE CASTLE HILL 1941-1/9/71 (North side) 08/10/53 No.8 Leigh-Pemberton House (Formerly Listed as: CASTLE HILL (North side) No.8 and No.1 Bailgate (Leigh-Pemberton House))

GV II*

Merchant's house, now offices. c1543, extensively restored 1929 and 1970. Timber framing, with arch braces, plastered nogging, rubble plinth and plain tile roof with a brick valley stack. 2 jettied floors with brackets on south and east fronts. Triple gabled south front, to Castle Hill, has to left a late C18 bow window with glazing bars, flanked to left by a half-glazed door. To right, a restored 2-light fixed window and a segment headed close-boarded door. Above, on each floor, three C20 leaded casements with 2 and 3 lights. East front, to Bailgate, 2 bays, has a close boarded door flanked by fixed lights with glazing bars. Above, on each floor, 2 leaded casements with 2 and 3 lights. South-east corner has an original post with carved figure and bracket. INTERIOR has jowled posts, some with arch braces, dragon beams, and is known to have crownpost roofs. (Buildings of England : Lincolnshire: Pevsner N: Lincolnshire: London: 1989-: 517).

Listing NGR: SK9763471824

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 485932

Legacy System: LBS

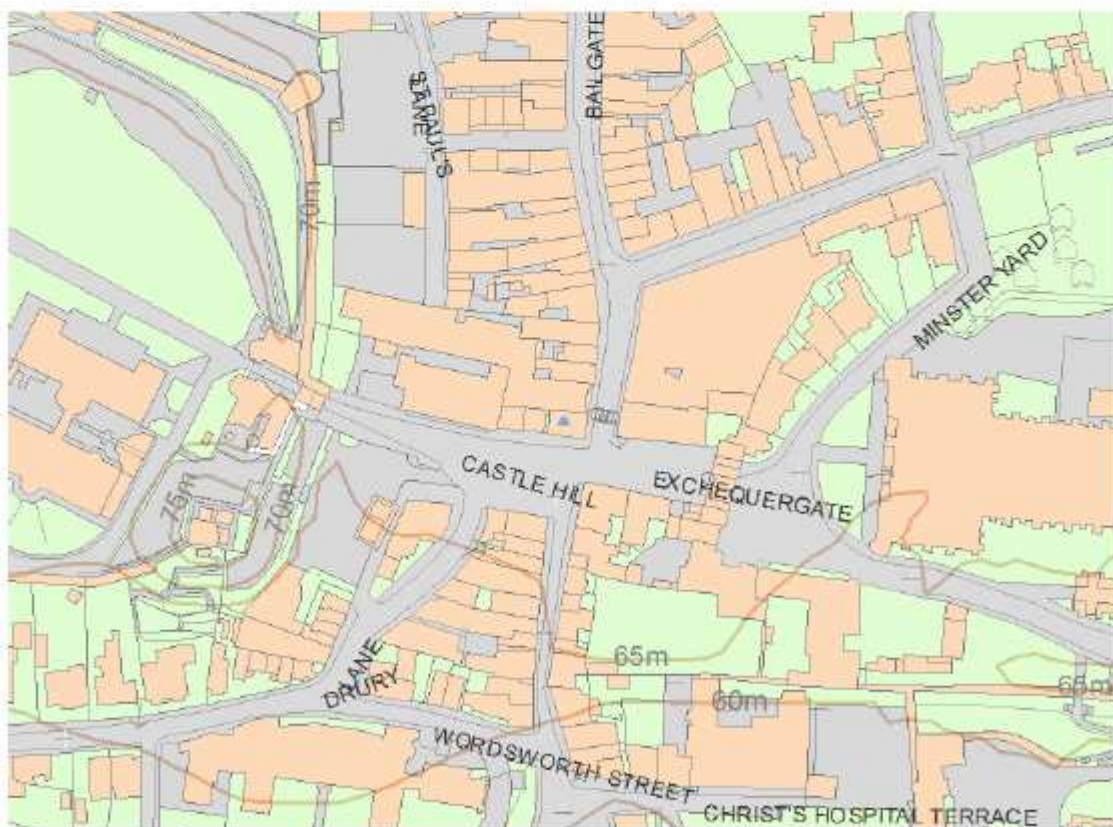
Sources

Books and journals

Pevsner, N, Harris, J, Antram, N, The Buildings of England: Lincolnshire, (1989), 517

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



Map

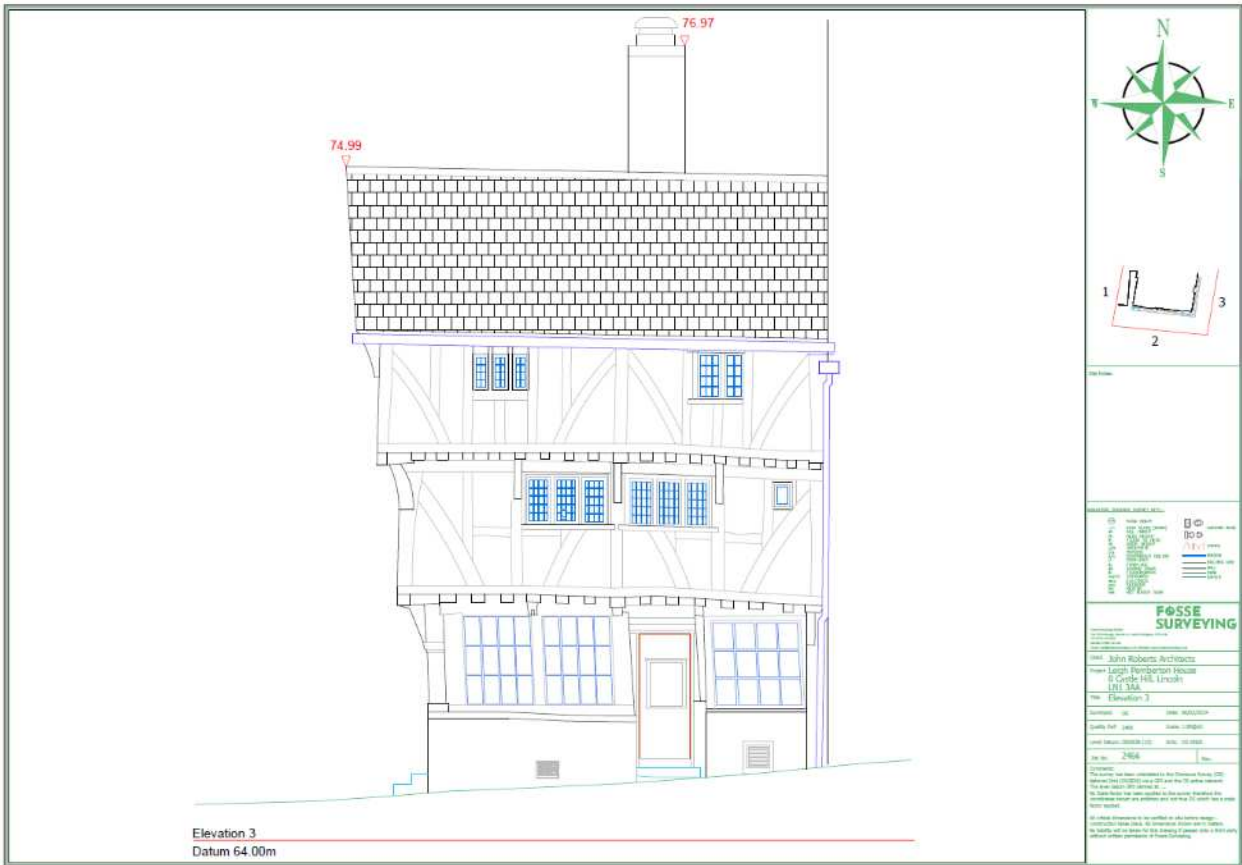
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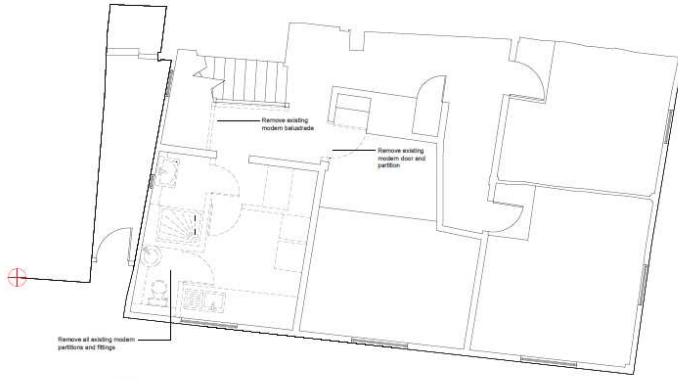
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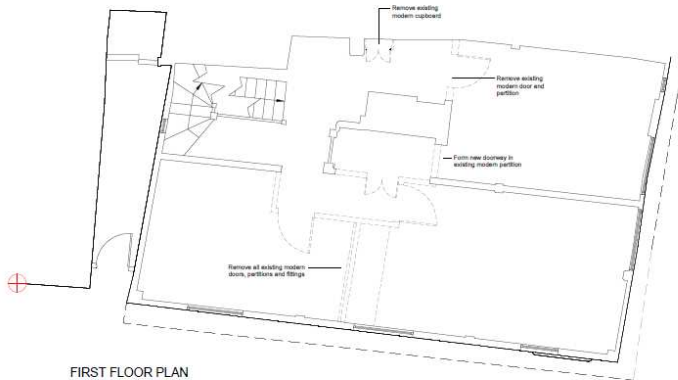
End of official list entry



Proposal Drawings



SECOND FLOOR PLAN



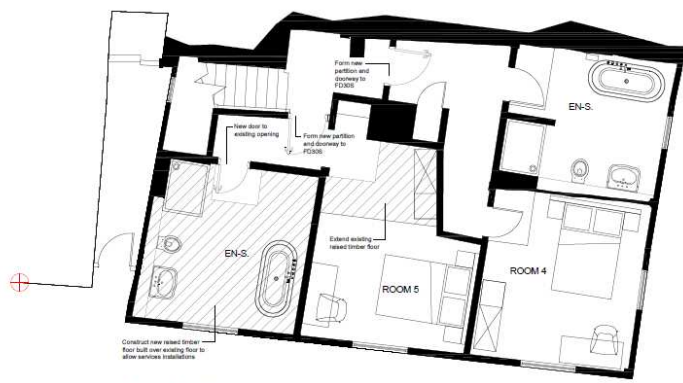
FIRST FLOOR PLAN

ALL DIMENSIONS AND SETTING OUT ARE TO BE VIEWED ON SITE AND ALL DISCREPANCIES REFERRED TO THE ARCHITECT BEFORE WORK COMMENCES. ——— COPYRIGHT RESERVED
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 1 21/03/24 JRC: R. J. L. JRC: R. J. L. JRC: R. J. L. JRC: R. J. L. JRC: R. J. L.



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Project	
LEIGH PEMBERTON HOUSE 8-9 CASTLE HILL LINCOLN	
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PAP	
Briefing No.	Revision
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John Roberts Architects	
1 James Street, Lincoln, LN2 1QD T: 01522 532441, F: 01522 512888 E: contact@jrchitects.co.uk www.jrchitects.co.uk	



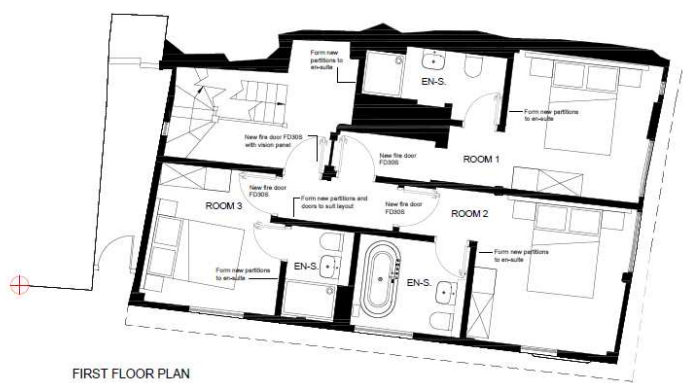
SECOND FLOOR PLAN

Services at second floor level routed through existing modern raised timber floor to minimise disturbance to historic fabric.
 Detailed design and specification of MEP services installations to be developed by others in agreement with LPA Conservation Officer



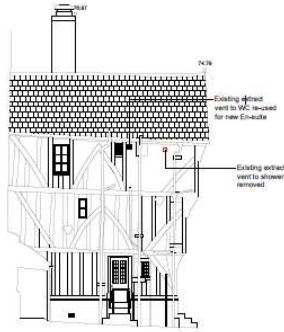
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John Roberts Architects	
1 James Street, Lincoln, LN2 1QD T: 01522 532441, F: 01522 512888 E: contact@jrchitects.co.uk www.jrchitects.co.uk	

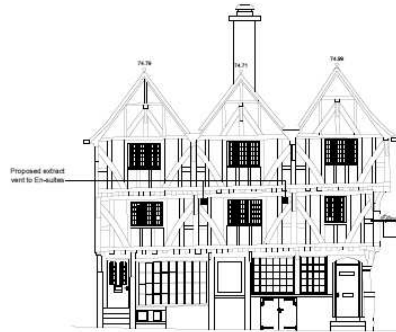


FIRST FLOOR PLAN

Services at first floor level to rise to second floor and routed through existing modern raised timber floor to minimise disturbance to historic fabric.
 Detailed design and specification of MEP services installations to be developed by others in agreement with LPA Conservation Officer



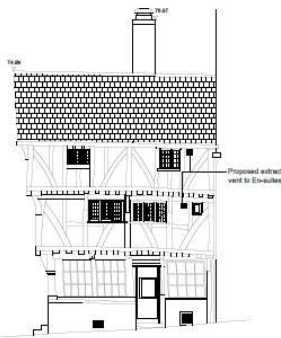
WEST ELEVATION TOWARDS NO. 7 CASTLE HILL




SOUTH ELEVATION TOWARDS CASTLE HILL



SCALE BAR - 1:50



EAST ELEVATION TOWARDS BAILGATE

client	
LEIGH PEMBERTON HOUSE (TSP INVESTMENTS) LTD	
project	
LEIGH PEMBERTON HOUSE 8-9 CASTLE HILL LINCOLN	
drawing	
ELEVATIONS PROPOSED	
scale	date
1:100@A2	FEB 24
drawn	checked
PAP	
drawing no.	project
8506T-103	
john roberts architects	
1 James Street, Lincoln, LN2 1GD T: 01522 535441 F: 01522 512888 E: contact@jrarchitects.co.uk www.jrarchitects.co.uk	
	

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² <http://heritageconnectlincoln.com/character-area/bailgate-and-castle-hill/43/description>

³ <http://heritageconnectlincoln.com/character-area/bailgate-and-castle-hill/43/description>

⁴ <http://heritageconnectlincoln.com/character-area/bailgate-and-castle-hill/43/description>

⁵ Listed Building Report Entry for Lincoln Castle – List Entry no. 1388491 National Heritage List for England

⁶ Mills, D R & Wheeler, R C *Historic Town Plans of Lincoln 1610-1920* 2004 *Lindum Colonia 4 Sept 1722* - Joseph Banks Jun. Ar *Tabulam D D* Ws Stukeley 1722

⁷ Ref: LCL PLANS 3/56 *Plan of Premises adjoining the Castle Hill Before the present alteration begun in 1809. Copied from a drawing by the late Mr William Hayward, Architect, by T J Willson 1842* Reproduced with the permission of Lincolnshire Archives. PERMISSION BEING SOUGHT AT THE TIME OF WRITING

⁸ pp4-5, pp50-61 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

⁹ p50 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹⁰ p56 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹¹ p56 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹² p57 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹³ p58 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹⁴ p50 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹⁵ p51 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹⁶ p51 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹⁷ p58 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

¹⁸ p51 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate.* Lincoln Civic Trust, 1996

- ¹⁹ p58 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ²⁰ *Museum No.: 1878,1228.48 Cathedral Church at Lincoln*. Drawn by Joseph Mallord William Turner in 1795. ©The British Museum
- ²¹ Figure 54, Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ²² Ref: CoC 6/4 A Plan of Lincoln Castle with the Premises Adjoining 1832 by T J Willson Reproduced with the permission of Lincolnshire Archives. PERMISSION BEING SOUGHT AT THE TIME OF WRITING
- ²³ p58 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ²⁴ Figure 58, Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ²⁵ Figure 57, Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ²⁶ Ref: LINCOLN ST MARY MAGDALENE PARISH 4/TITHE AWARD Tithe Award (1850) and plan (1851). Lincolnshire Archives.
- ²⁷ Ref: LINCOLN ST MARY MAGDALENE PARISH 4/TITHE AWARD Tithe Award (1850) and plan (1851). Reproduced with the permission of Lincolnshire Archives. PERMISSION BEING SOUGHT AT THE TIME OF WRITING
- ²⁸ p73 and p79 *Lincoln Directory* 1867
- ²⁹ p119 *Lincoln Directory* 1881
- ³⁰ p124 *Lincoln Directory* 1885
- ³¹ © National Library of Scotland
- ³² Ref: 733/Neg C.5639 Illustrations cabinets, Lincoln Central Library Local Studies.
- ³³ p19 *Cook's Lincoln Directory* 1899
- ³⁴ p7 and p8 *Lincoln Directory* 1905
- ³⁵ Ref: AWA 19/43 *Lincoln Corporation House Connections Plan 1909* Lincolnshire Archives.
- ³⁶ Ref: 2736A/LCL2674 Illustrations cabinets, Lincoln Central Library Local Studies.
- ³⁷ Ref: 2287B/LCL8164 Illustrations cabinets, Lincoln Central Library Local Studies.
- ³⁸ Ref: AWA 19/43 *Lincoln Corporation House Connections Plan 1909* Reproduced with the permission of Lincolnshire Archives. PERMISSION BEING SOUGHT AT THE TIME OF WRITING
- ³⁹ Ref: 6-TAX/63/62 LINCOLN NW Tax Book of 1910. Lincolnshire Archives.
- ⁴⁰ p58 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁴¹ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁴² Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁴³ p27 *Lincoln Directory* 1913
- ⁴⁴ p29 *Lincoln Directory* 1919
- ⁴⁵ Ref: D7283 - *Interior photograph of the National Provincial Bank*. Taken 1912-23. Courtesy of the NatWest Group Archives.
- ⁴⁶ p32 *Lincoln Directory* 1922
- ⁴⁷ Leaflet dated 25th July 1958.
- ⁴⁸ County: Lincolnshire, Date(s): 1932-1938 Survey scale: 1:2,500 © Crown copyright and Landmark Information Group Ltd 2022. All rights reserved.
- ⁴⁹ Ref: 3198A Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁵⁰ Ref: 3198B Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁵¹ Ref: 3198C Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁵² Ref: 3199A Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁵³ Ref: 3199B Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁵⁴ Ref: D7281 - *Interior photograph of the National Provincial Bank*. Taken 1930s. Reproduced by kind permission of NatWest Group © [2024]
- ⁵⁵ Ref: D7282 - *Interior photograph of the National Provincial Bank*. Taken 1930s. Reproduced by kind permission of NatWest Group © [2024]
- ⁵⁶ p11 and p37 *Kelly's Directory for Lincoln* 1939
- ⁵⁷ p284 *Kelly's Directory for Lincoln* 1975
- ⁵⁸ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁵⁹ Leaflet dated 25th July 1958. Reproduced by kind permission of NatWest Group © [2024]
- ⁶⁰ Leaflet dated 25th July 1958. Reproduced by kind permission of NatWest Group © [2024]
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- ⁶² Figure 61 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁶³ Figure 61 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁶⁴ Figure 61 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁶⁵ Figure 61 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁶⁶ Figure 62 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁶⁷ Ref: D7284 - *Interior photograph of the National Provincial Bank*. Dated 1958. Reproduced by kind permission of NatWest Group © [2024]
- ⁶⁸ Ref: D7286 - *Interior photograph of the National Provincial Bank*. Dated 1958. Reproduced by kind permission of NatWest Group © [2024]
- ⁶⁹ Ref: 2225B/LCL8079 Illustrations cabinets, Lincoln Central Library Local Studies
- ⁷⁰ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.

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- ⁷¹ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁷² Still frame from the movie 'The Wild and the Willing'. Courtesy of YouTube.
- ⁷³ Ref: 1927A/LCL4996 Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁷⁴ Ref: 8819/LCL13090 Illustrations cabinets, Lincoln Central Library Local Studies.
- ⁷⁵ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁷⁶ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁷⁷ County: Lincolnshire, Date(s): 1975-1975 Survey scale: 1:2,500 © Crown copyright and Landmark Information Group Ltd 2022. All rights reserved.
- ⁷⁸ Historical notes provided by Kimberley Harsley, Archivist at NatWest Group Archives.
- ⁷⁹ Ref: LIN CITY/ENG/1/1/15 1979 plan showing proposed works to the paving and road of Castle Hill. Lincolnshire Archives.
- ⁸⁰ Figure 63 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁸¹ Figure 63 Jones, S; Major, K; Varley, J; and Johnson, C *The Survey of Ancient Houses in Lincoln IV: Houses in the Bail: Steep Hill, Castle Hill, and Bailgate*. Lincoln Civic Trust, 1996
- ⁸² Ref: MY2823 Drawings by D R Vale of No. 8 Castle Hill. Copy kindly provided by the Lincoln Cathedral Archives. PERMISSION BEING SOUGHT AT THE TIME OF WRITING.
- ⁸³ Ref: 98/415/LBC Listed Building Consent, City of Lincoln. Decision dated 18th August 1998.
- ⁸⁴ Ref: BR/676/98 City of Lincoln. Dated 25th September 1998.
- ⁸⁵ Ref: 2000/0447/LBC Listed Building Consent. City of Lincoln. Approved 21st March 2002.
- ⁸⁶ Ref: 2011/0984/F Change of use planning application. City of Lincoln. Approved conditionally 19th September 2011.
- ⁸⁷ p517 Pevsner N, Harris J (Antram N ed.) *The Buildings of England: Lincolnshire* 2002
- ⁸⁸ © Google Earth
- ⁸⁹ © Historic England – National Heritage List for England
- ⁹⁰ Ref: WRIGHT PLANS/1017 *White Hart Garage 1935* Lincolnshire Archives
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- ⁹⁴ © Historic England – National Heritage List for England